



MANHATTAN WEST:  
NORTH TOWER  
401 Ninth Avenue, New York, NY 10001

Client  
**Brookfield**

Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10001

Architecture/Structural Engineering

**SOM**

Sidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005

Civil Engineering  
Philip Habib & Associates  
102 Madison Avenue #11, New York, NY 10016

MEP Engineering  
Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005

Vertical Transportation  
Edgett Williams Consulting Group, Inc.  
102 East 87th Street, Suite 1, Mill Valley, California 94041

Sustainable Design  
Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06654

Geotechnical Engineering  
Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 22nd Fl., New York, NY 10122

Landscape Consultant  
Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant  
Ducibella, Ventor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant  
Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

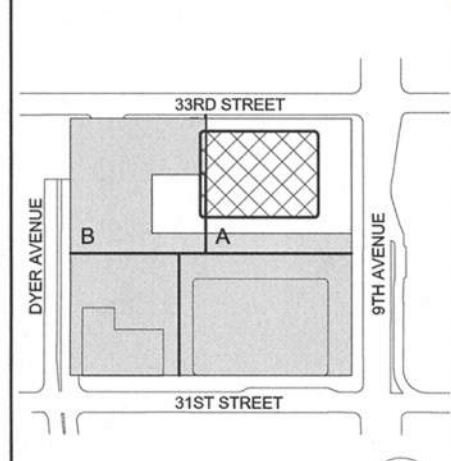
Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
160 Avenue Street, Hackensack, NJ 07601

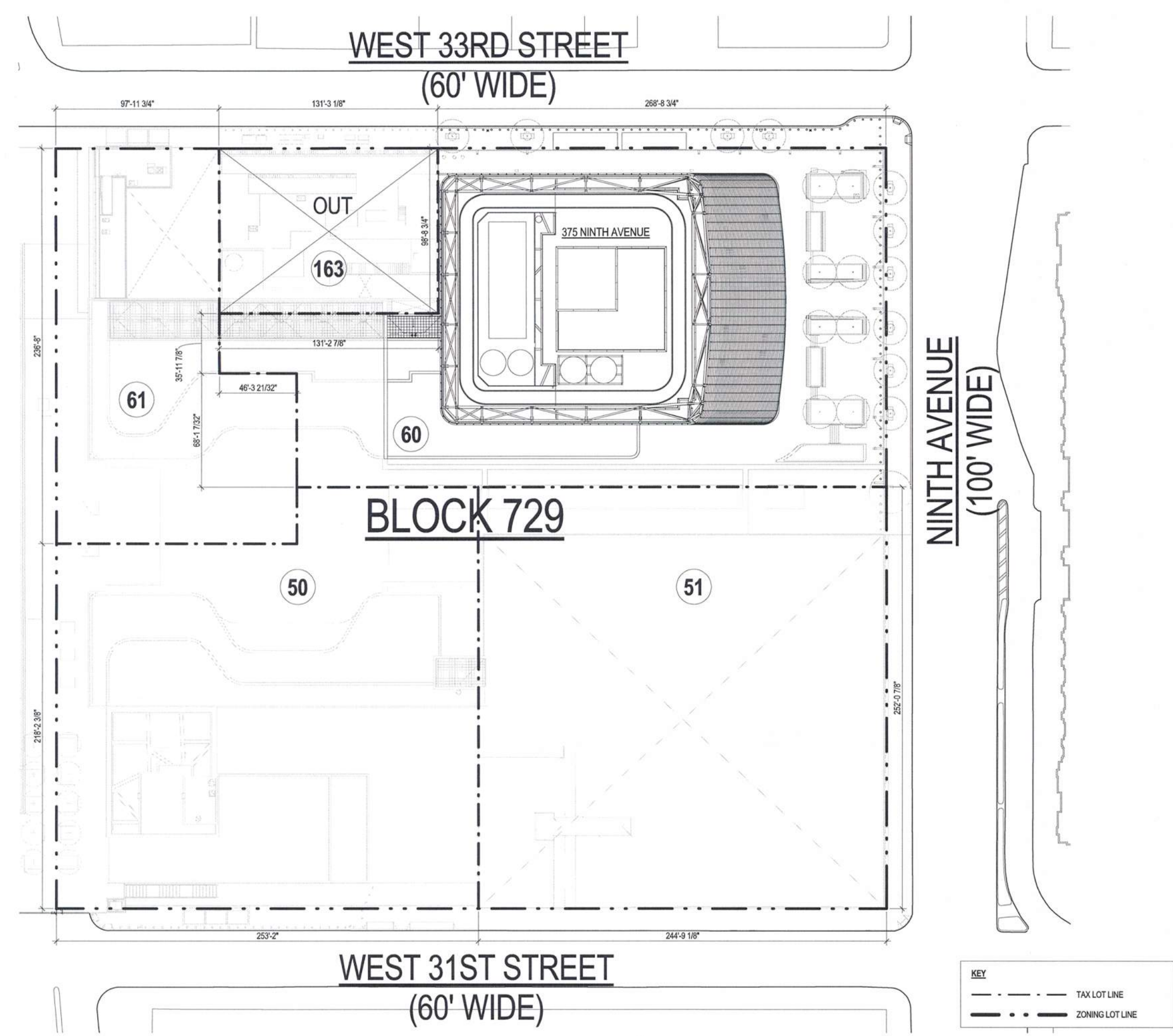
Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodburn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:

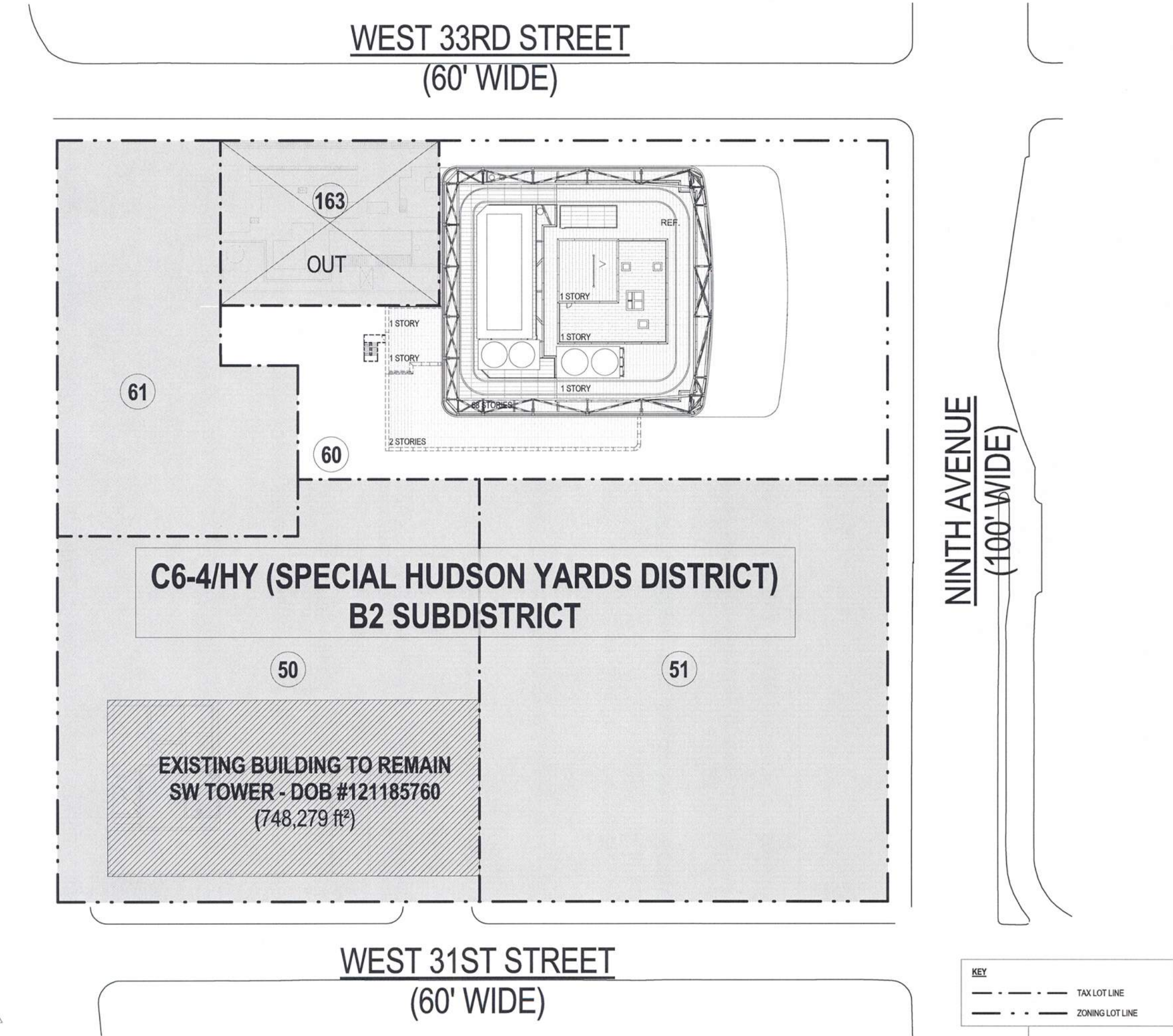


**ZONING MAP &  
TAX LOT MAP**

Project No.: 201720  
Date: 22 APR 2018  
Scale: As indicated  
File No.: Z-001  
B-SCAN Sheet No.:  
Z-001.01  
Sheet No.:  
Page No.: 1 OF 1



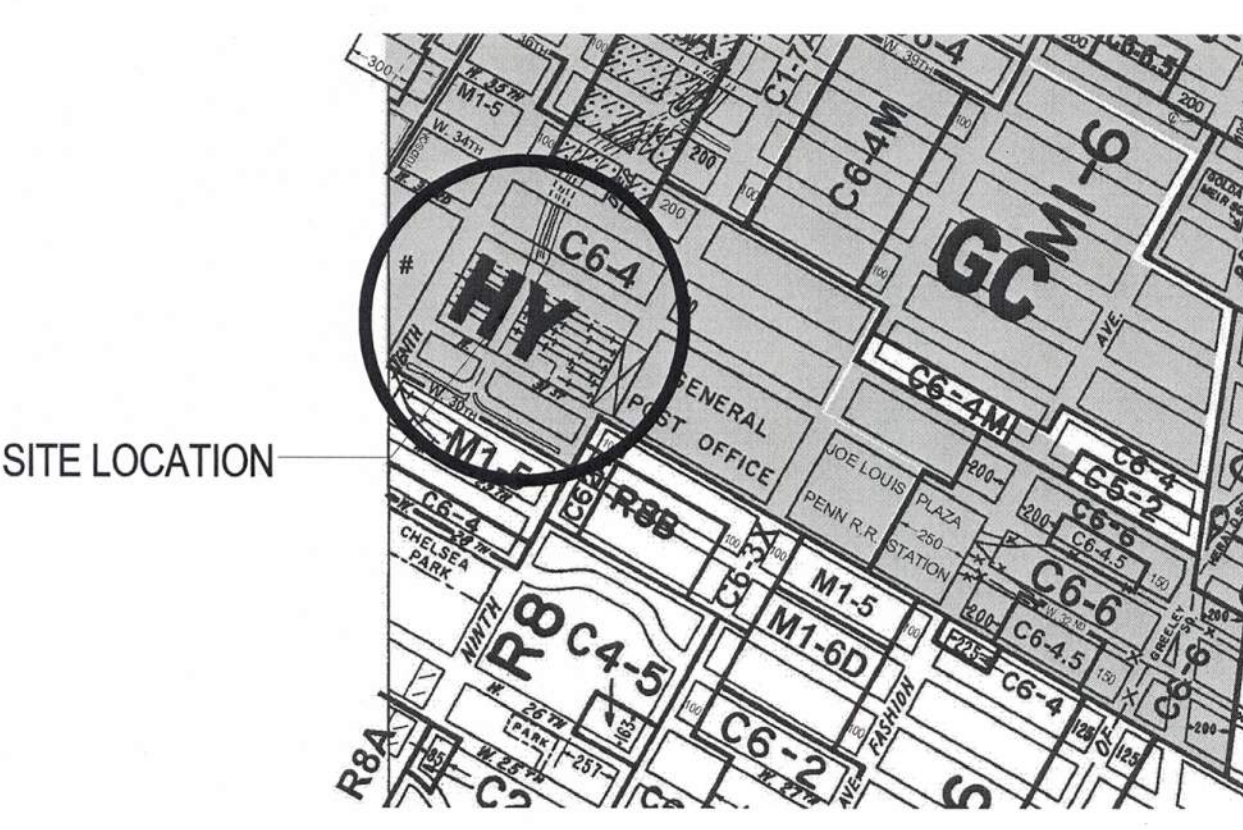
**7 ZONING LOT MAP**  
SCALE: 1" = 40'-0"



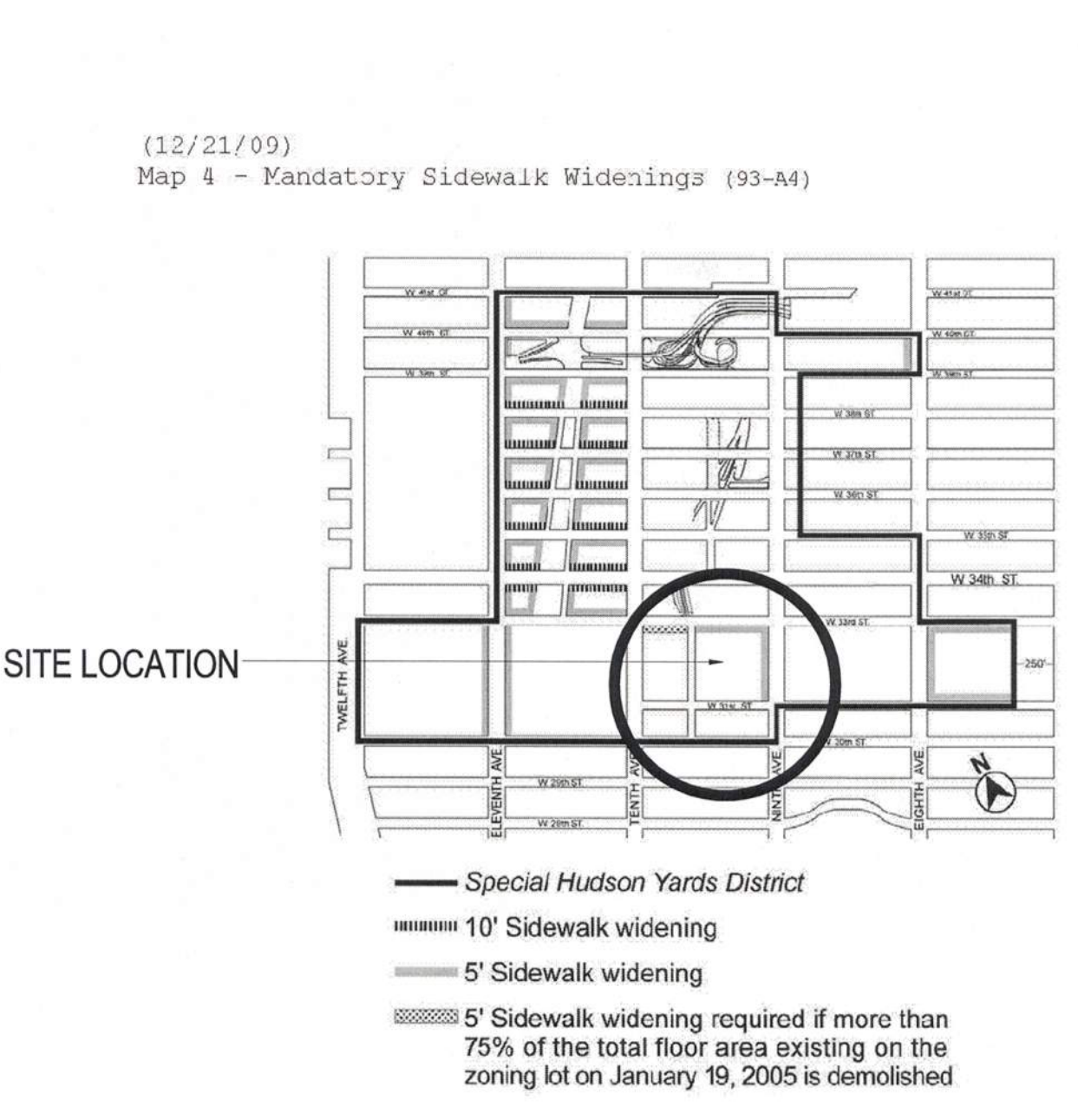
**6 ZONING DISTRICT MAP**  
SCALE: 1" = 40'-0"



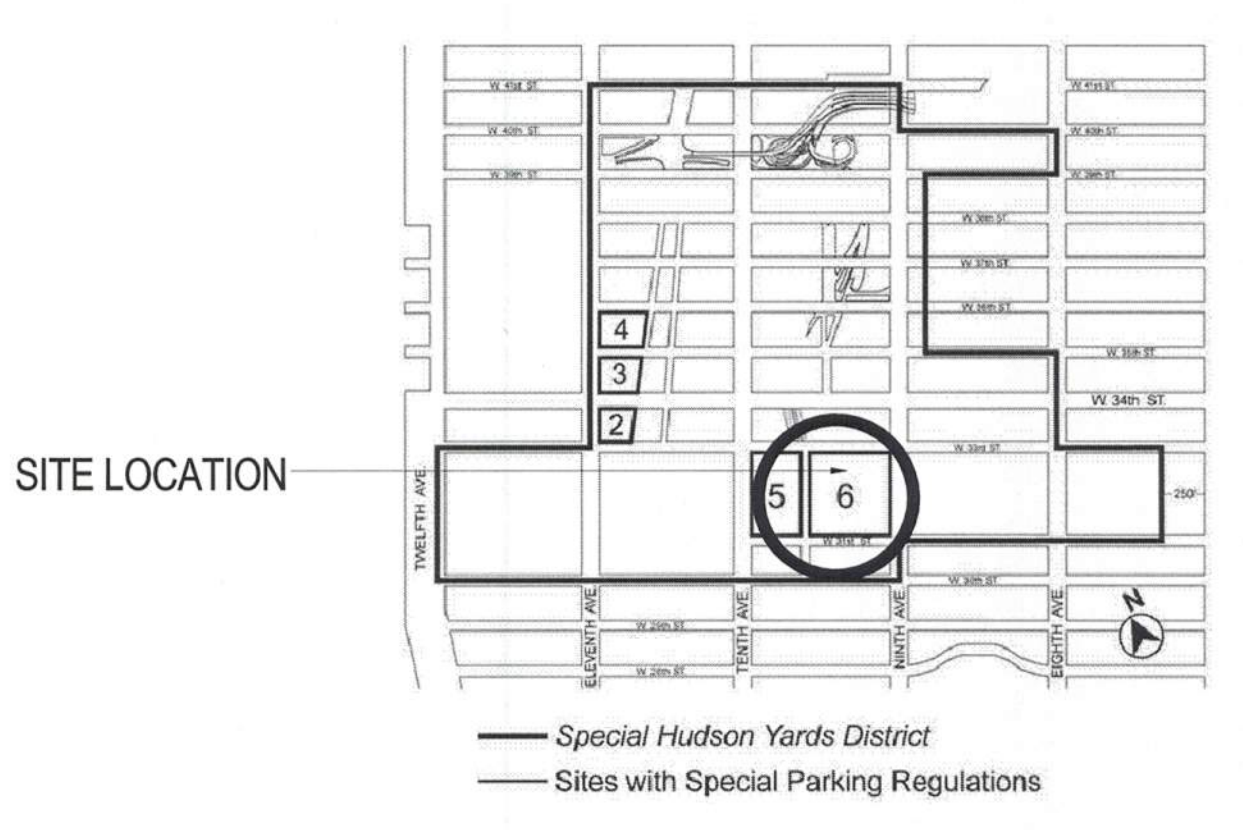
**3 ZONING MAP - SPECIAL HUDSON YARDS DISTRICT**  
SCALE: AS INDICATED



**4 ZONING MAP - ENLARGED**  
SCALE: NTS



**5 ZONING MAP - MANDATORY SIDEWALK WIDENING**  
SCALE: NTS



**2 ZONING MAP - SPECIAL PARKING REGULATIONS**  
SCALE: NTS



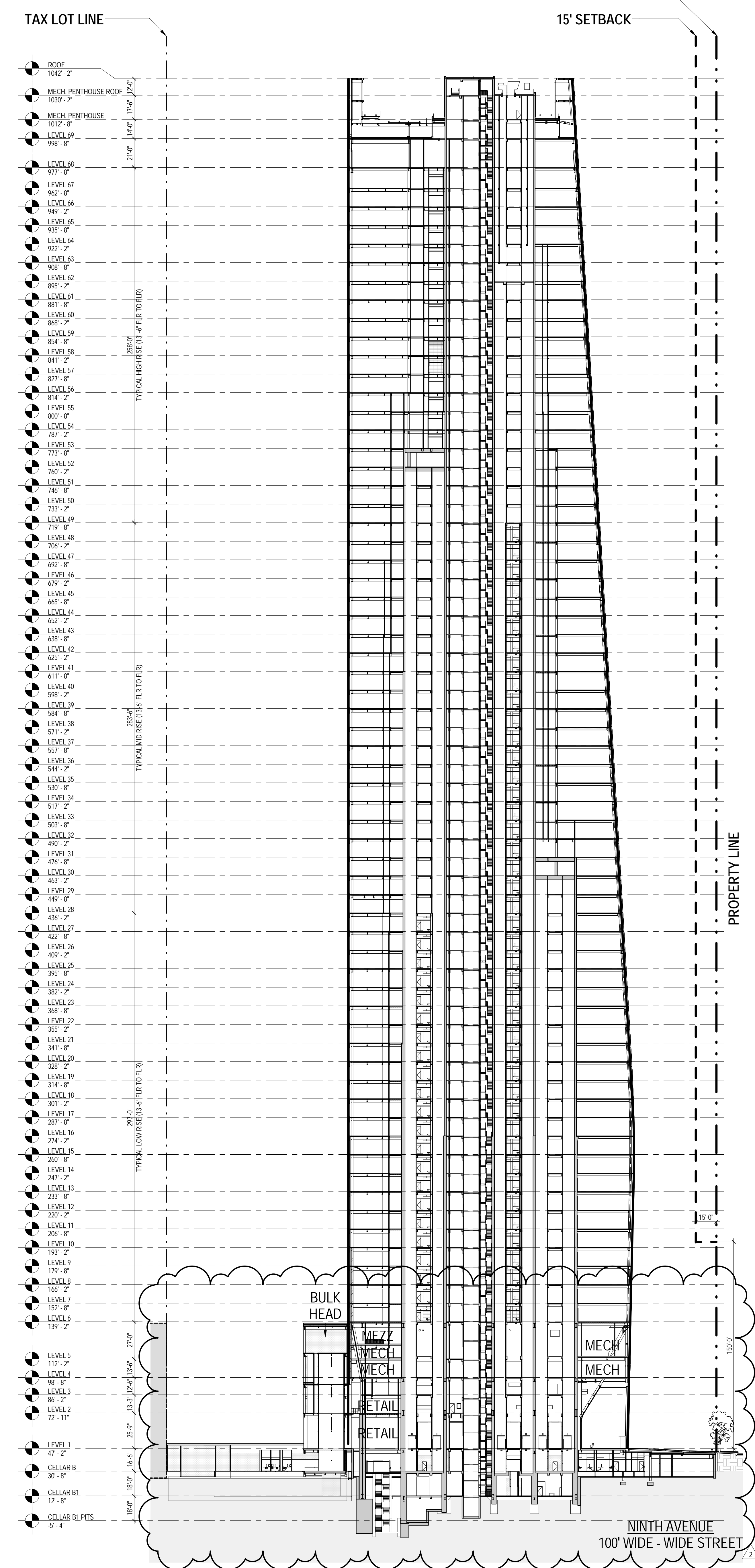
**1 ZONING MAP - SUBDISTRICT MAP**  
SCALE: NTS



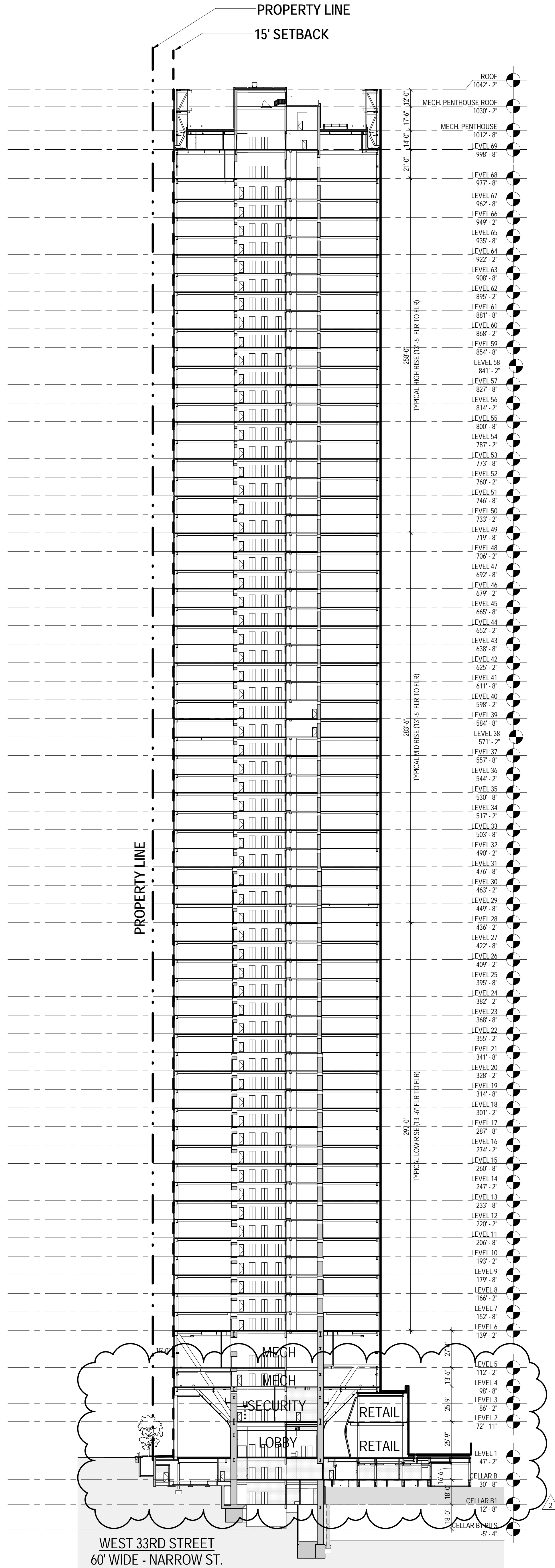








4 BUILDING SECTION LOOKING NORTH  
SCALE: 1" = 40'-0"



3 BUILDING SECTION LOOKING WEST  
SCALE: 1" = 40'-0"

HEIGHT AND SETBACK REGULATIONS (ZR 93-42)  
Max. base height on a wide street: 150 ft  
Max. base height on a narrow street:  
-Within 100' of its intersection with wide street: 150 ft  
-Beyond 100' of its intersection with wide street: 150 ft  
-Weighted avg. base height on a narrow street: 120 ft (Approx.)

SPECIAL HEIGHT AND SETBACK REGULATIONS (ZR 93-522)  
Required setback on a wide street: 15 ft  
Required setback on a narrow street: 20 ft\*  
\*Exception: A building may rise without setback when no part of building is within 15' of street line.

## 2 ZONING RESOLUTION - HEIGHT & SETBACK REGULATIONS

FLOOR AREA SCHEDULE					
FLOOR	USE	GROSS FLOOR AREA (SF)	RETAIL AREA	ZONING DEDUCTIONS	ZONING FLOOR AREA
MECH. PENTHOUSE ROOF	Mechanical Penthouse	1,418 ft <sup>2</sup>	-	1,418 ft <sup>2</sup>	-
MECH. PENTHOUSE	Mechanical Penthouse	3,776 ft <sup>2</sup>	-	3,776 ft <sup>2</sup>	-
LEVEL 69	Mechanical/Office	9,774 ft <sup>2</sup>	-	2,939 ft <sup>2</sup>	6,835 ft <sup>2</sup>
LEVEL 68	Mechanical	24,803 ft <sup>2</sup>	-	24,803 ft <sup>2</sup>	-
LEVEL 67	Office	24,936 ft <sup>2</sup>	-	2,201 ft <sup>2</sup>	22,736 ft <sup>2</sup>
LEVEL 66	Office	25,057 ft <sup>2</sup>	-	2,188 ft <sup>2</sup>	22,869 ft <sup>2</sup>
LEVEL 65	Office	25,177 ft <sup>2</sup>	-	2,198 ft <sup>2</sup>	22,979 ft <sup>2</sup>
LEVEL 64	Office	25,297 ft <sup>2</sup>	-	2,201 ft <sup>2</sup>	23,097 ft <sup>2</sup>
LEVEL 63	Office	25,418 ft <sup>2</sup>	-	2,938 ft <sup>2</sup>	22,479 ft <sup>2</sup>
LEVEL 62	Office	25,538 ft <sup>2</sup>	-	3,129 ft <sup>2</sup>	22,409 ft <sup>2</sup>
LEVEL 61	Office	25,658 ft <sup>2</sup>	-	2,167 ft <sup>2</sup>	23,491 ft <sup>2</sup>
LEVEL 60	Office	25,779 ft <sup>2</sup>	-	2,192 ft <sup>2</sup>	23,586 ft <sup>2</sup>
LEVEL 59	Office	25,899 ft <sup>2</sup>	-	2,191 ft <sup>2</sup>	23,707 ft <sup>2</sup>
LEVEL 58	Office	26,019 ft <sup>2</sup>	-	2,167 ft <sup>2</sup>	23,852 ft <sup>2</sup>
LEVEL 57	Office	26,140 ft <sup>2</sup>	-	2,192 ft <sup>2</sup>	23,947 ft <sup>2</sup>
LEVEL 56	Office	26,260 ft <sup>2</sup>	-	2,191 ft <sup>2</sup>	24,068 ft <sup>2</sup>
LEVEL 55	Office	26,380 ft <sup>2</sup>	-	2,674 ft <sup>2</sup>	23,706 ft <sup>2</sup>
LEVEL 54	Office	26,500 ft <sup>2</sup>	-	3,104 ft <sup>2</sup>	23,396 ft <sup>2</sup>
LEVEL 53	Office	26,621 ft <sup>2</sup>	-	3,103 ft <sup>2</sup>	23,517 ft <sup>2</sup>
LEVEL 52	Office	26,741 ft <sup>2</sup>	-	3,601 ft <sup>2</sup>	23,140 ft <sup>2</sup>
LEVEL 51	Office	26,861 ft <sup>2</sup>	-	2,709 ft <sup>2</sup>	24,153 ft <sup>2</sup>
LEVEL 50	Office	26,982 ft <sup>2</sup>	-	2,241 ft <sup>2</sup>	24,741 ft <sup>2</sup>
LEVEL 49	Office	27,102 ft <sup>2</sup>	-	2,228 ft <sup>2</sup>	24,874 ft <sup>2</sup>
LEVEL 48	Office	27,222 ft <sup>2</sup>	-	2,204 ft <sup>2</sup>	25,018 ft <sup>2</sup>
LEVEL 47	Office	27,343 ft <sup>2</sup>	-	2,204 ft <sup>2</sup>	25,138 ft <sup>2</sup>
LEVEL 46	Office	27,463 ft <sup>2</sup>	-	2,192 ft <sup>2</sup>	25,271 ft <sup>2</sup>
LEVEL 45	Office	27,583 ft <sup>2</sup>	-	2,204 ft <sup>2</sup>	25,379 ft <sup>2</sup>
LEVEL 44	Office	27,704 ft <sup>2</sup>	-	2,204 ft <sup>2</sup>	25,499 ft <sup>2</sup>
LEVEL 43	Office	27,824 ft <sup>2</sup>	-	3,092 ft <sup>2</sup>	24,732 ft <sup>2</sup>
LEVEL 42	Office	27,944 ft <sup>2</sup>	-	3,511 ft <sup>2</sup>	24,433 ft <sup>2</sup>
LEVEL 41	Office	28,064 ft <sup>2</sup>	-	2,512 ft <sup>2</sup>	25,552 ft <sup>2</sup>
LEVEL 40	Office	28,184 ft <sup>2</sup>	-	2,491 ft <sup>2</sup>	25,694 ft <sup>2</sup>
LEVEL 39	Office	28,305 ft <sup>2</sup>	-	2,221 ft <sup>2</sup>	26,085 ft <sup>2</sup>
LEVEL 38	Office	28,425 ft <sup>2</sup>	-	2,219 ft <sup>2</sup>	26,207 ft <sup>2</sup>
LEVEL 37	Office	28,546 ft <sup>2</sup>	-	2,491 ft <sup>2</sup>	26,055 ft <sup>2</sup>
LEVEL 36	Office	28,666 ft <sup>2</sup>	-	2,503 ft <sup>2</sup>	26,163 ft <sup>2</sup>
LEVEL 35	Office	28,786 ft <sup>2</sup>	-	2,503 ft <sup>2</sup>	26,283 ft <sup>2</sup>
LEVEL 34	Office	28,907 ft <sup>2</sup>	-	2,491 ft <sup>2</sup>	26,416 ft <sup>2</sup>
LEVEL 33	Office	29,027 ft <sup>2</sup>	-	2,503 ft <sup>2</sup>	26,524 ft <sup>2</sup>
LEVEL 32	Office	29,147 ft <sup>2</sup>	-	3,361 ft <sup>2</sup>	25,786 ft <sup>2</sup>
LEVEL 31	Office	29,268 ft <sup>2</sup>	-	3,415 ft <sup>2</sup>	25,853 ft <sup>2</sup>
LEVEL 30	Office	29,388 ft <sup>2</sup>	-	3,473 ft <sup>2</sup>	25,915 ft <sup>2</sup>
LEVEL 29	Office	29,508 ft <sup>2</sup>	-	2,501 ft <sup>2</sup>	27,007 ft <sup>2</sup>
LEVEL 28	Office	29,629 ft <sup>2</sup>	-	2,497 ft <sup>2</sup>	27,132 ft <sup>2</sup>
LEVEL 27	Office	29,749 ft <sup>2</sup>	-	2,152 ft <sup>2</sup>	27,596 ft <sup>2</sup>
LEVEL 26	Office	29,869 ft <sup>2</sup>	-	2,177 ft <sup>2</sup>	27,693 ft <sup>2</sup>
LEVEL 25	Office	29,989 ft <sup>2</sup>	-	2,139 ft <sup>2</sup>	27,850 ft <sup>2</sup>
LEVEL 24	Office	30,110 ft <sup>2</sup>	-	2,168 ft <sup>2</sup>	27,942 ft <sup>2</sup>
LEVEL 23	Office	30,230 ft <sup>2</sup>	-	2,172 ft <sup>2</sup>	28,058 ft <sup>2</sup>
LEVEL 22	Office	30,350 ft <sup>2</sup>	-	2,139 ft <sup>2</sup>	28,211 ft <sup>2</sup>
LEVEL 21	Office	30,471 ft <sup>2</sup>	-	2,804 ft <sup>2</sup>	27,667 ft <sup>2</sup>
LEVEL 20	Office	30,591 ft <sup>2</sup>	-	2,857 ft <sup>2</sup>	27,735 ft <sup>2</sup>
LEVEL 19	Office	30,693 ft <sup>2</sup>	-	2,824 ft <sup>2</sup>	27,869 ft <sup>2</sup>
LEVEL 18	Office	30,769 ft <sup>2</sup>	-	2,172 ft <sup>2</sup>	28,597 ft <sup>2</sup>
LEVEL 17	Office	30,819 ft <sup>2</sup>	-	2,173 ft <sup>2</sup>	28,646 ft <sup>2</sup>
LEVEL 16	Office	30,844 ft <sup>2</sup>	-	2,140 ft <sup>2</sup>	28,704 ft <sup>2</sup>
LEVEL 15	Office	30,844 ft <sup>2</sup>	-	2,195 ft <sup>2</sup>	28,649 ft <sup>2</sup>
LEVEL 14	Office	30,818 ft <sup>2</sup>	-	2,197 ft <sup>2</sup>	28,621 ft <sup>2</sup>
LEVEL 13	Office	30,798 ft <sup>2</sup>	-	2,164 ft <sup>2</sup>	28,635 ft <sup>2</sup>
LEVEL 12	Office	30,800 ft <sup>2</sup>	-	2,195 ft <sup>2</sup>	28,604 ft <sup>2</sup>
LEVEL 11	Office	30,795 ft <sup>2</sup>	-	2,197 ft <sup>2</sup>	28,598 ft <sup>2</sup>
LEVEL 10	Office	30,790 ft <sup>2</sup>	-	2,179 ft <sup>2</sup>	28,610 ft <sup>2</sup>
LEVEL 9	Office	30,771 ft <sup>2</sup>	-	2,211 ft <sup>2</sup>	28,560 ft <sup>2</sup>
LEVEL 8	Office	30,752 ft <sup>2</sup>	-	2,212 ft <sup>2</sup>	28,540 ft <sup>2</sup>
LEVEL 7	Office	30,733 ft <sup>2</sup>	-	2,179 ft <sup>2</sup>	28,554 ft <sup>2</sup>
LEVEL 6	Office	30,715 ft <sup>2</sup>	-	2,228 ft <sup>2</sup>	28,487 ft <sup>2</sup>
LEVEL 5	Mechanical	28,258 ft <sup>2</sup>	-	28,258 ft <sup>2</sup>	-
LEVEL 4	Mechanical / Office	35,964 ft <sup>2</sup>	-	34,985 ft <sup>2</sup>	969 ft <sup>2</sup>
LEVEL 3	Stair Transfer / Mechanical	10,449 ft <sup>2</sup>	-	1,592 ft <sup>2</sup>	8,857 ft <sup>2</sup>
LEVEL 2	Retail	13,949 ft <sup>2</sup>	9,447 ft <sup>2</sup>	1,715 ft <sup>2</sup>	12,234 ft <sup>2</sup>
LEVEL 1	Office / Retail	35,893 ft <sup>2</sup>	9,282 ft <sup>2</sup>	1,659 ft <sup>2</sup>	34,234 ft <sup>2</sup>
CELLAR B	Mechanical / Storage	64,027 ft <sup>2</sup>	-	64,027 ft <sup>2</sup>	-
CELLAR B1	Mechanical / Storage	7,841 ft <sup>2</sup>	-	7,841 ft <sup>2</sup>	-
CELLAR B1 PITS	Mechanical / Storage	2,250 ft <sup>2</sup>	-	2,250 ft <sup>2</sup>	-
Grand total		2,002,001 ft <sup>2</sup>	18,729 ft <sup>2</sup>	327,559 ft <sup>2</sup>	1,674,440 ft <sup>2</sup>

FAR: 1,674,440 / 213,629 SF = 7.84



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401 Ninth Avenue, New York, NY 10001  
Client

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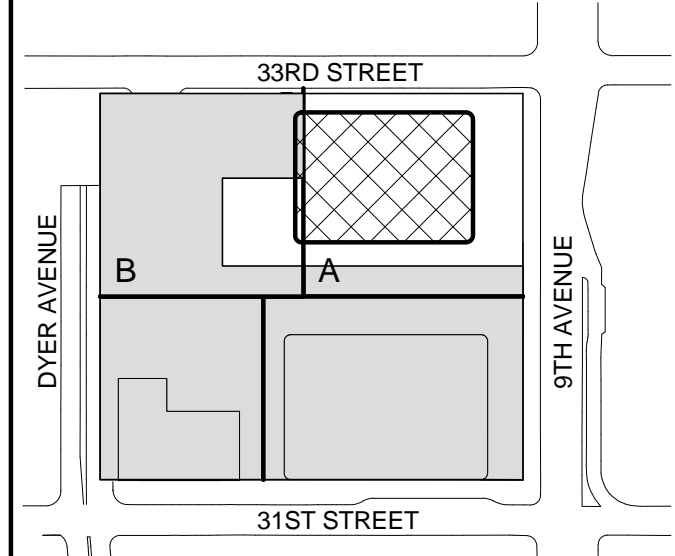
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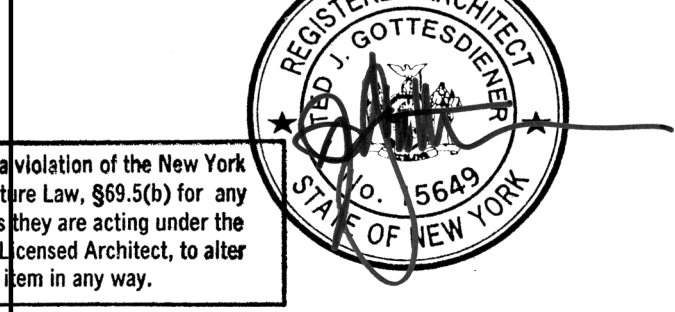
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Key Plan:



Seal & Signature:



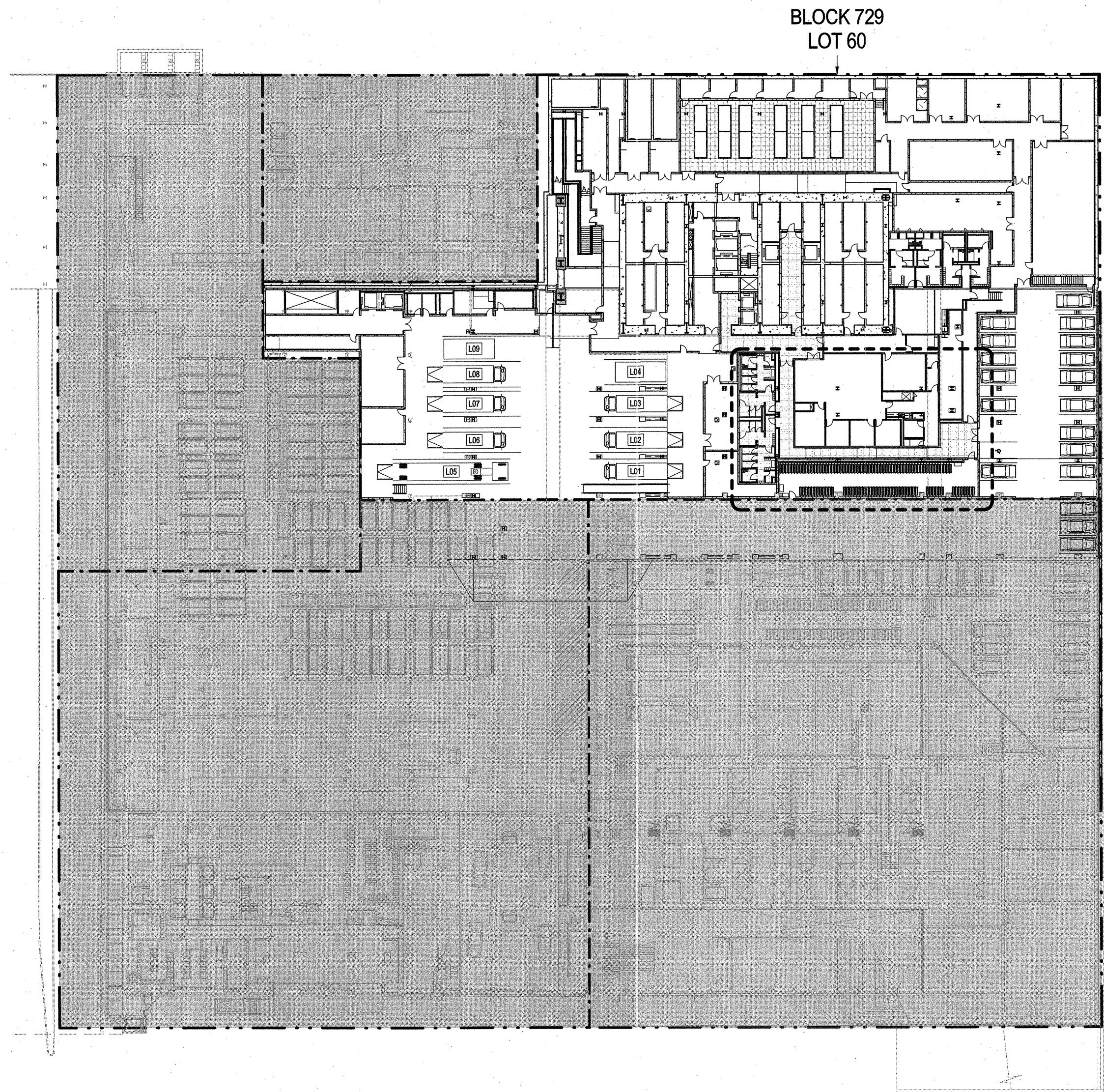
Warning: It is a violation of the New York State Architecture Law, §16-05, for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

Project No.: 207150  
Date: 22 APR 2016  
Scale: As indicated  
File No.: 2-003

B-SCAN Sheet No.: Z-003.02  
Sheet No.: Z-003  
Page No.: 3 OF

HEIGHT & SETBACK SECTIONS - FLOOR AREA SCHEDULE





KEY  
--- ZONING LOT LINE  
--- TAX LOT LINE  
--- EDGE OF PLAZA ABOVE  
--- SCOPE LINE  
--- NOT IN SCOPE

**ACCESSORY OFF-STREET LOADING BERTHS (ZR 36-62)**  
Berths required for office use  
First 100,000 ft<sup>2</sup>: 0 berths  
Next 200,000 ft<sup>2</sup>: 1 berth  
Each additional 300,000 ft<sup>2</sup>: 1 berth  
Total: 6 berths  
(1,655,711 ft<sup>2</sup> - 300,000 ft<sup>2</sup>) / 300,000 ft<sup>2</sup>

**OFF STREET PARKING REGULATIONS (ZR 93-81)**  
Provided: 13 parking spaces\*  
\*Chairperson certification required

Berths required for retail use  
First 25,000 ft<sup>2</sup>: 0 berths  
Next 15,000 ft<sup>2</sup>: 1 berth  
Next 60,000 ft<sup>2</sup>: 1 berth  
Each additional 150,000 ft<sup>2</sup>: 1 berth  
Total: 6 berths  
(18,729 ft<sup>2</sup> - 100,000 ft<sup>2</sup>) / 150,000 ft<sup>2</sup>

**EXISTING SW RESIDENTIAL TOWER LOADING BERTHS**  
Berths required: None

Provided: 9 accessory off-street loading berths (COMPLIES)

### 3 ZONING RESOLUTION - LOADING BERTH REQUIREMENTS

**REQUIRED BICYCLE PARKING SPACES (ZR 36-71)**  
Spaces required for office use  
1 per 7,500 ft<sup>2</sup> of floor area  
Total (1,655,711 ft<sup>2</sup> / 7,500 ft<sup>2</sup>): 221 spaces

Spaces required for retail use  
1 per 10,000 ft<sup>2</sup> of floor area  
Total (18,729 ft<sup>2</sup> / 10,000 ft<sup>2</sup>): 2 spaces

Provided: 224 bike racks (COMPLIES)

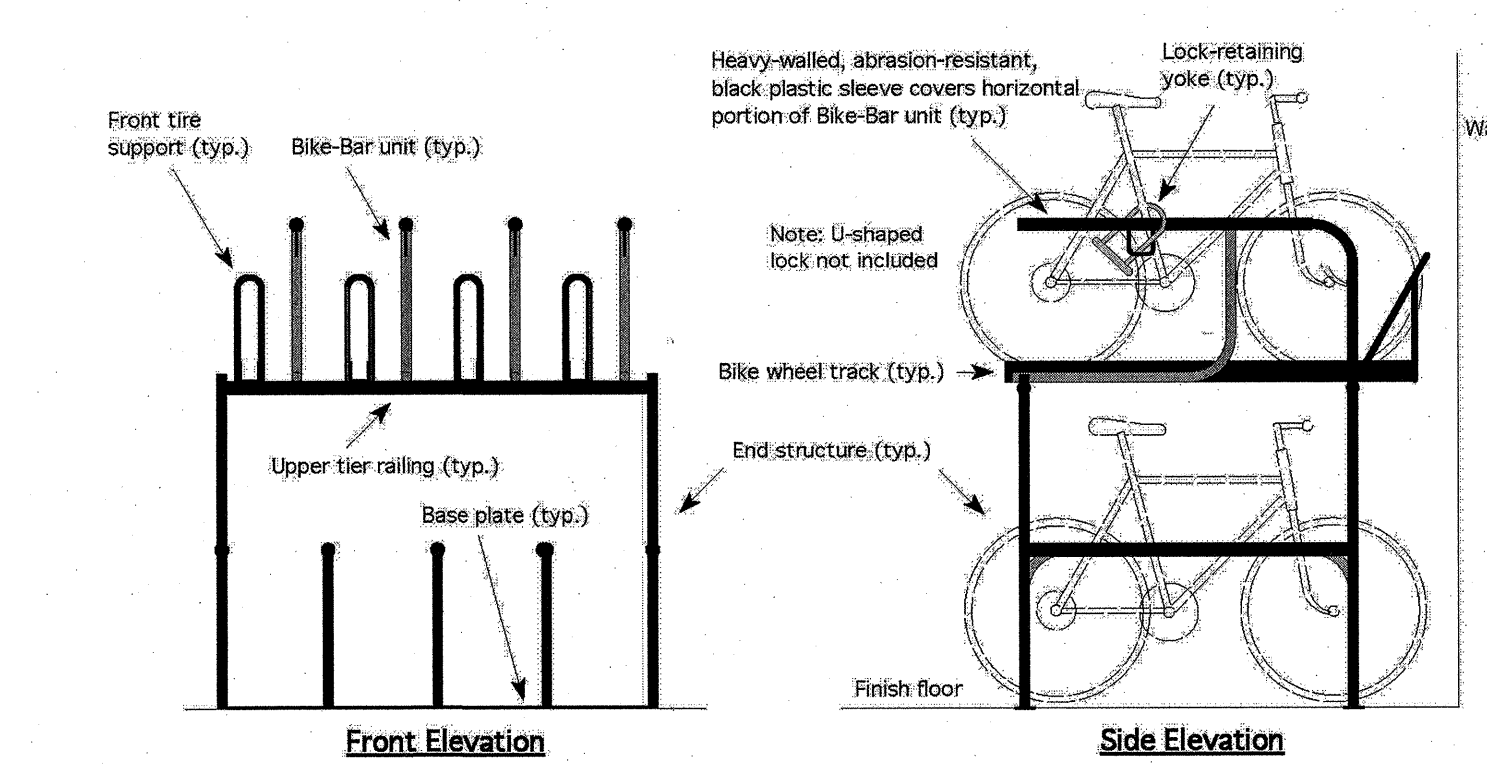
**REQUIRED BICYCLE STORAGE (ZR 36-73)**  
15 ft<sup>2</sup> / Bicycle\*  
(224 x 15 ft<sup>2</sup>) / 2 = 1,680 ft<sup>2</sup> (for stacked bicycle racks)  
\*The area for each bicycle space may be reduced by up to 9 ft<sup>2</sup> / Bicycle if the Commissioner of Buildings certifies that a layout has been submitted to adequately accommodate the specified number of bicycles.

15 ft<sup>2</sup> - 9 ft<sup>2</sup> = 6 ft<sup>2</sup>  
Required: 224 x 6 ft<sup>2</sup> = 1,344 ft<sup>2</sup>  
Provided: 1,607 ft<sup>2</sup> (COMPLIES)

**EXISTING SW RESIDENTIAL TOWER ENCLOSED BICYCLE PARKING REQUIREMENTS (ZR 25-811, ZR 36-711)**  
**REQUIRED BICYCLE PARKING SPACES**  
Residential uses = 1 per 2 dwelling units  
Proposed no. dwelling units = 844 D.U.  
Required bicycle parking spaces: 844 / 2 = 422 Bicycle required

**BICYCLE STORAGE PROVIDED AT 15 ft<sup>2</sup> / Bicycle:**  
Bike Room #1 (Cellar) 4,196 ft<sup>2</sup> / 15 ft<sup>2</sup> / Bicycle = 279 Bicycles  
Bike Room #2 (1st Floor) 831 ft<sup>2</sup> / 15 ft<sup>2</sup> / Bicycle = 55 Bicycles  
Bike Room #3 (2nd Floor) 1,332 ft<sup>2</sup> / 15 ft<sup>2</sup> / Bicycle = 89 Bicycles  
Total = 423 Bicycles

### 2 ZONING RESOLUTION - BICYCLE PARKING RERQUIREMENTS

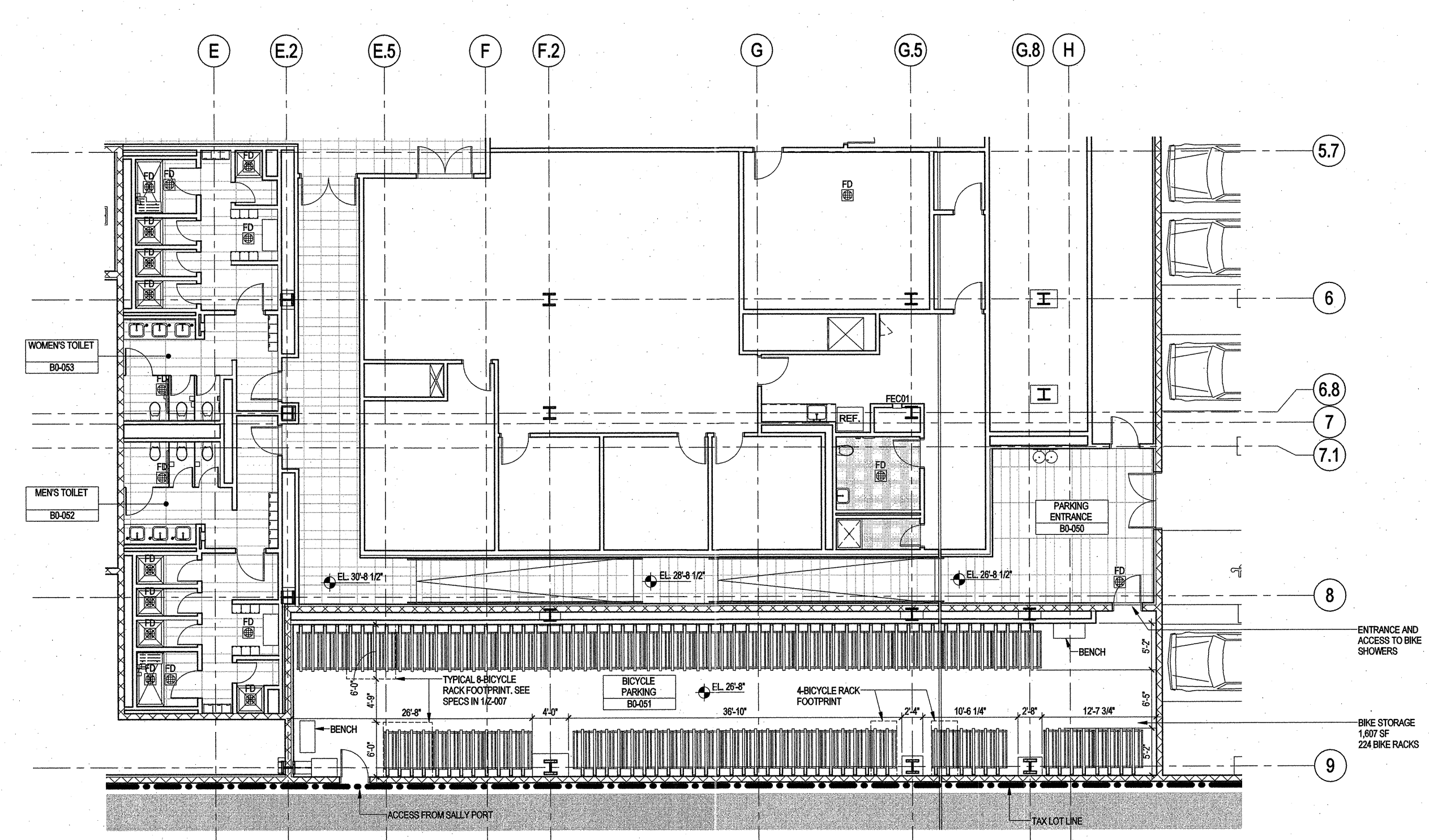


**Specifications**  
Model#: BDDF-8.16 Bike-Double-Decker-Framework™: Two-Tier, Moderate Security Bike Rack  
Capacity: (8) bikes on 16" centers (4 on the top and 4 on the bottom)  
Materials:  
• 1" nom., Sched. 40 ASTM A500 welded, seamless-steel pipe for Bike-Bar units and end structures  
• 1.5" nom., Sched. 40 ASTM A500 welded, seamless-steel pipe for upper-tier railings  
• 1" nom., heavy-walled, abrasion-resistant, black plastic sleeve covers entire horizontal portion of Bike-Bar units  
• 3" x 3" x 1/8 gauge H.R. steel channel for bike wheel tracks  
• 1/4" x 3" H.R. steel flat-bar for base plates  
• 1/2" dia. H.R. steel round-bar for lock-retaining yokes and front tire supports  
Finishes:  
• Hot-dipped galvanizing  
• Black, abrasion-resistant thermoplastic powder coating 8 to 10 mils thick  
• Standard-colored, abrasion-resistant thermoplastic powder coating 8 to 10 mils thick (extra)  
• Hot-dipped galvanized substrate plus thermoplastic powder coating 8 to 10 mils thick (extra)  
• Satin-finished #304 stainless-steel construction (extra)  
Fabrication: All metallurgical joints are MIG welds

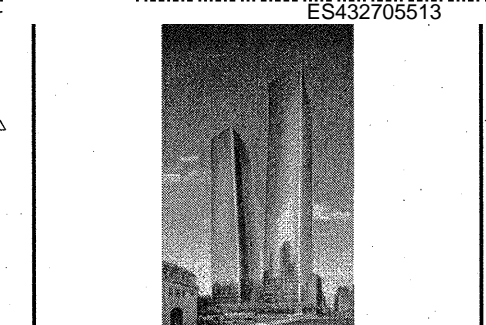
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### 1 BICYCLE PARKING SPECIFICATIONS

### 5 ZONING - MASTERPLAN CELLAR B LOADING DOCKS



### 4 ENLARGED BICYCLE STORAGE PLAN



**MANHATTAN WEST:  
NORTH TOWER**  
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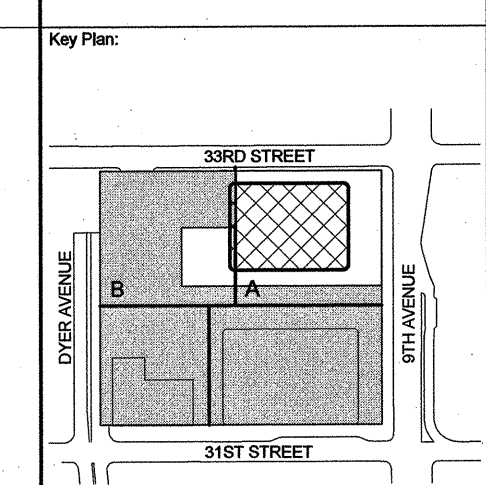
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404 Fifth Avenue #6, New York, NY 10018

Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
45 Broadway, Suite 401, New York, NY 10006

Code Consultant  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
199 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
550 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B6



Key Plan:  
3180 STREET  
3181 STREET  
3182 STREET  
3183 STREET  
3184 STREET  
3185 STREET  
3186 STREET  
3187 STREET  
3188 STREET  
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3194 STREET  
3195 STREET  
3196 STREET  
3197 STREET  
3198 STREET  
3199 STREET  
3200 STREET

Seal & Signature  
**REGISTERED ARCHITECT**  
STATE OF NEW YORK  
NO. 15649

**BICYCLE  
PARKING &  
LOADING BERTHS**

Project No.: 207100  
B-SCAN Sheet No.:  
Date: 15 DEC 2016  
Sheet No.: Z-007.02  
Scale: As Indicated  
File No.: Z-007  
Page No.: 7 OF 7





MANHATTAN WEST:  
NORTH TOWER  
401 Ninth Avenue, New York, NY 10001  
Client

**Brookfield**  
Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

Architecture/Structural Engineering

**SOM**

Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005

Civil Engineering

Philip Habib & Associates  
102 Madison Avenue #11, New York, NY 10016

MEP Engineering

Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005

Vertical Transportation

Edgett Williams Consulting Group, Inc.  
102 East Blithedale Ave., Suite 1, Mill Valley, California 94041

Sustainable Design

Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06854

Geotechnical Engineering

Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 225 W. 34th Street, New York, NY 10122

Landscape Consultant

Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant

Ducibella, Vantor & Santoro  
250 State Street #F1, North Haven, CT 06473

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40 Wall Street, New York, NY 10005

Acoustical Consultant

Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

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215 West 40th Street, 15th Floor, New York, NY 10018

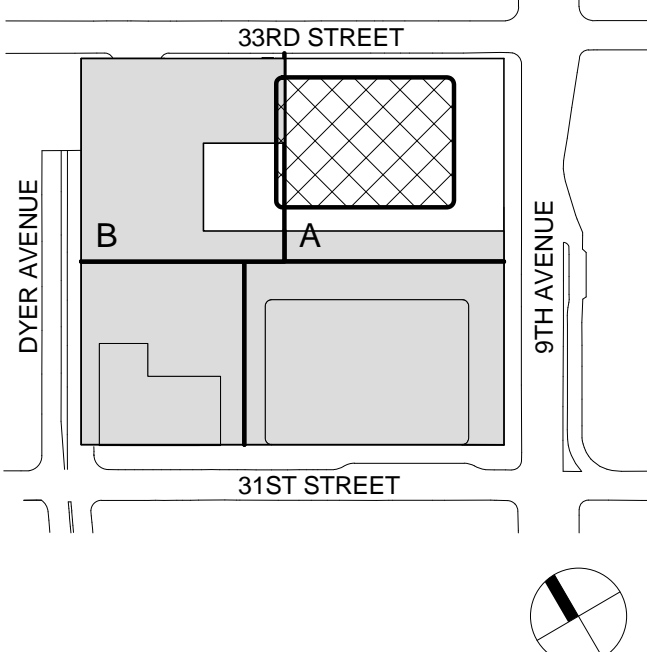
Facade Maintenance Consultant

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Wind Tunnel Consultant

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650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B6

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1 21 AUG 2015 ISSUED FOR BUILDING PERMIT

No. Date Description

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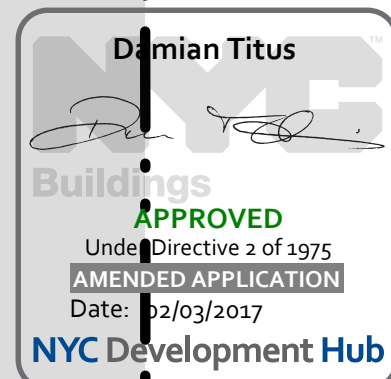
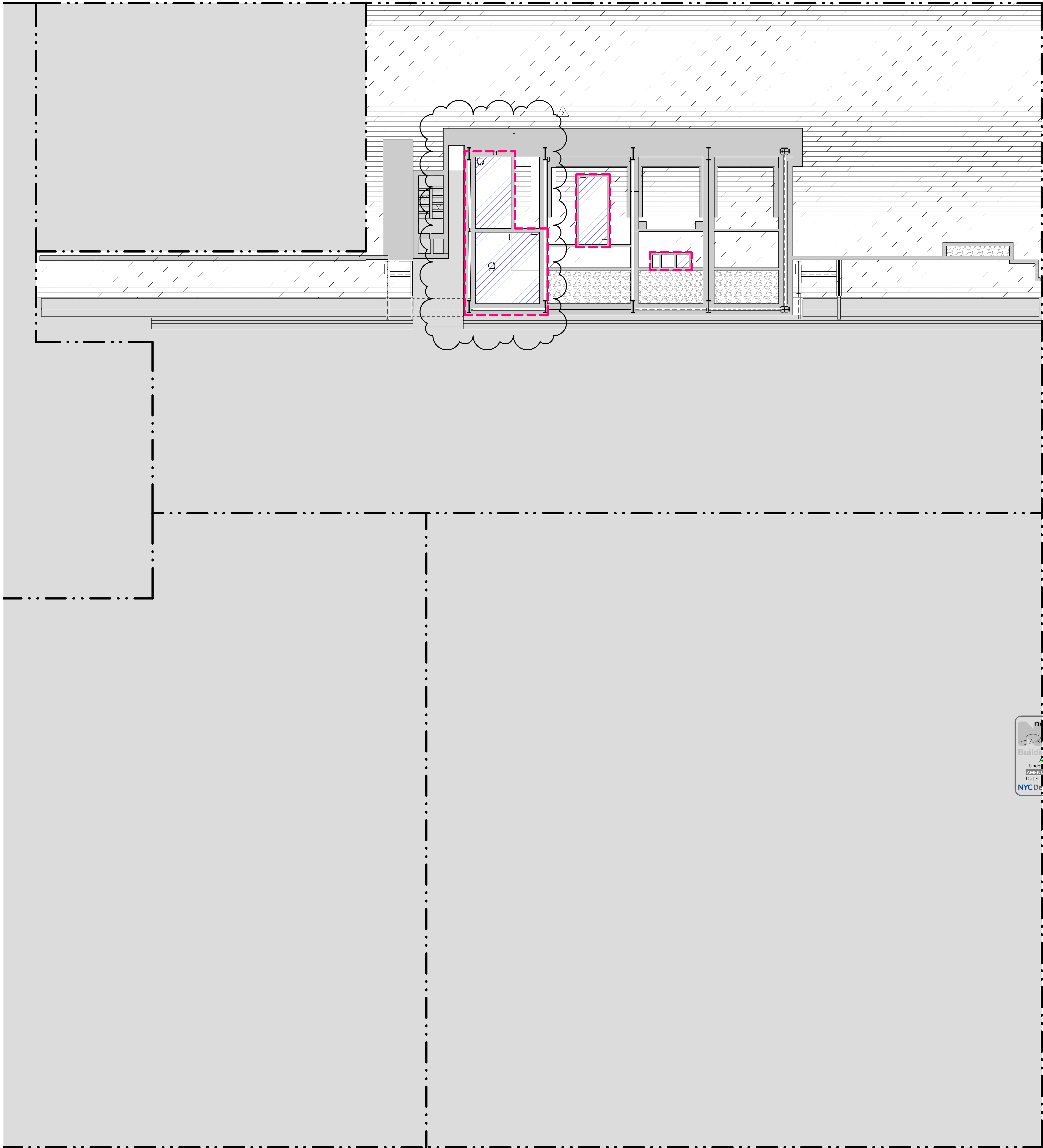
**ZONING FLOOR  
AREA  
DEDUCTIONS -  
CELLAR B1 PITS**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/16" = 1'-0"  
File No.: Z-101

B-SCAN Sheet No.:  
**Z-101.01**  
Sheet No.:  
**Z-101**  
Page No.: 8 OF

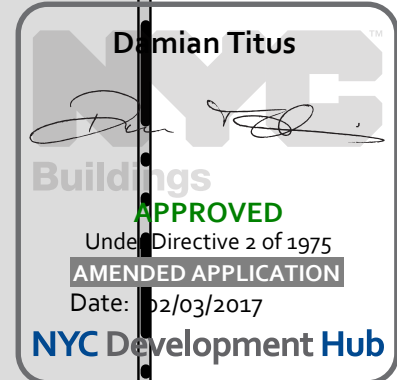
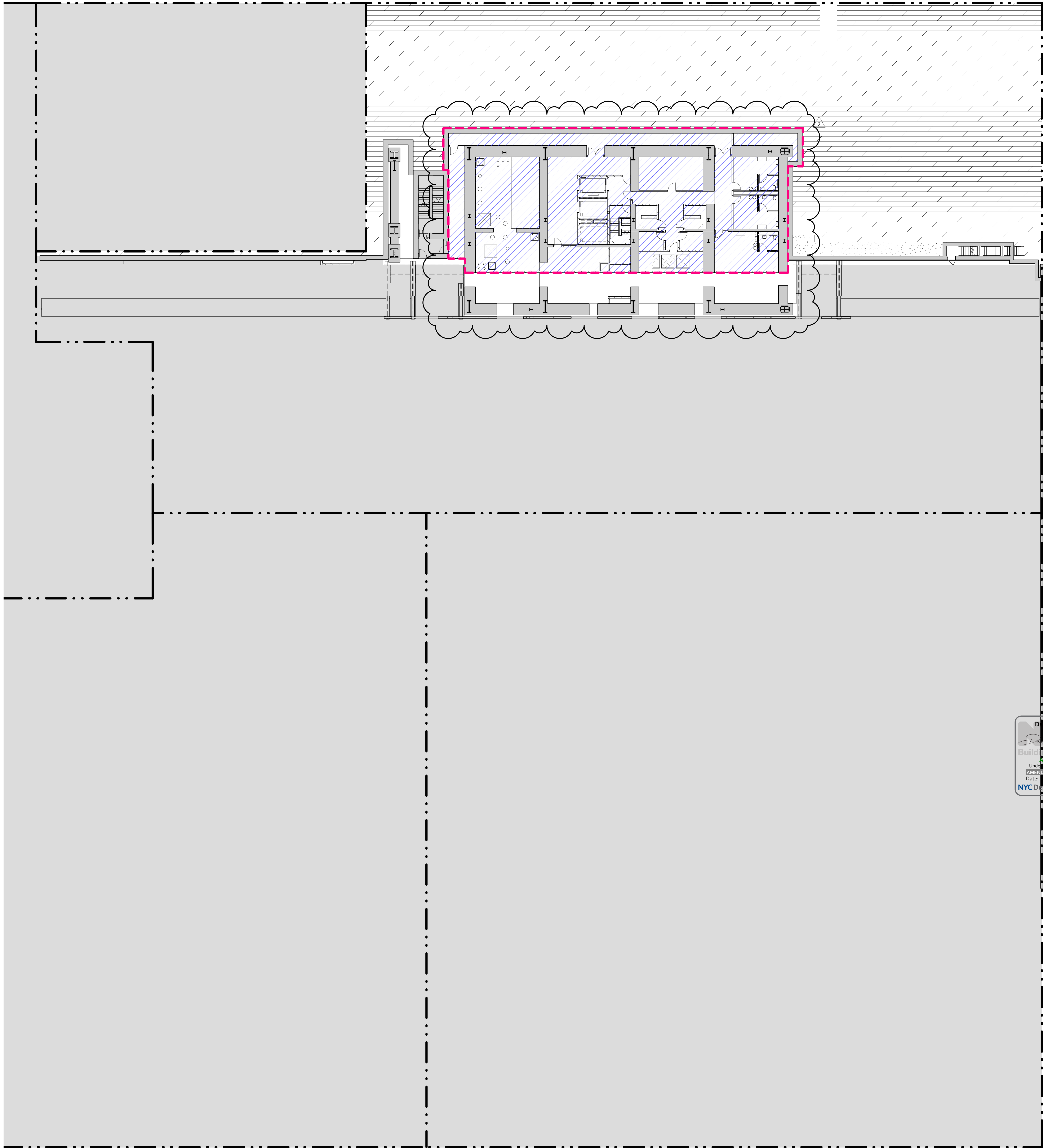
ZONING LEGENDS

- GROSS BUILDING AREA
- ZONING AREA DEDUCTIONS
- ZONING FLOOR AREA
- RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL./IT
- P PLUMBING
- EM ELEVATOR MACHINE ROOM



ZONING SCHEDULE - LEVEL B1 PITS	
ZONING DEDUCTIONS	2,250 SF
GROSS FLOOR AREA	2,250 SF





ZONING SCHEDULE - LEVEL B1	
ZONING DEDUCTIONS	7,841 ft²
GROSS FLOOR AREA	7,841 ft²

ZONING LEGENDS

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- ZONING FLOOR AREA
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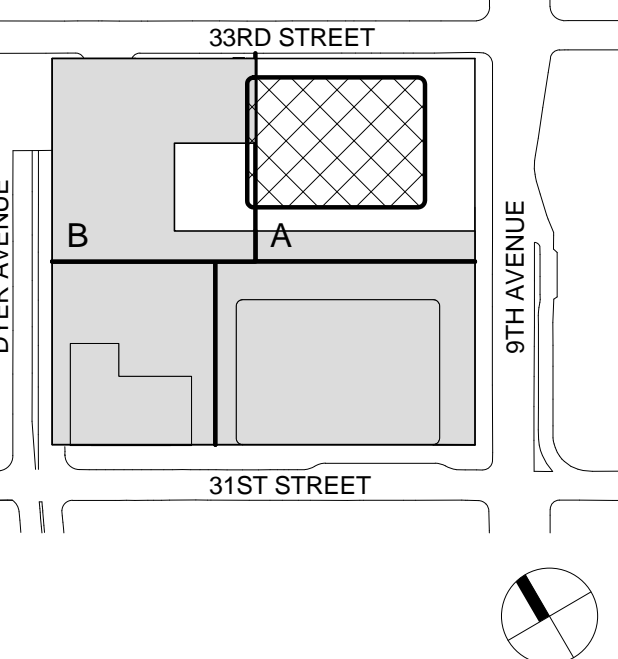
Facade Maintenance Consultant

Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B6

Key Plan:



Seal & Signature:



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Sheet Name:

ZONING FLOOR  
AREA  
DEDUCTIONS -  
CELLAR B1


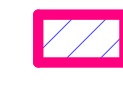


Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/16" = 1'-0"

B-SCAN Sheet No.: Z-102.01  
Sheet No.: Z-102  
Page No.: 9 OF



GENERAL NOTES

ZONING LEGENDS

-  GROSS BUILDING AREA
-  ZONING AREA DEDUCTIONS
-  ZONING FLOOR AREA
-  RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL./IT
- P PLUMBING
- EM ELEVATOR MACHINE ROOM



MANHATTAN WEST:  
NORTH TOWER  
401 Ninth Avenue, New York, NY 10001

Client  
**Brookfield**

Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

Architecture/Structural Engineering

**SOM**

Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005

Civil Engineering

Philip Habb & Associates  
102 Madison Avenue #11, New York, NY 10016

MEP Engineering

Jaros Baum & Boles  
80 Pine Street, New York, NY 10005

Vertical Transportation

Edgett Williams Consulting Group, Inc.  
102 East 8th Street, Suite 1, Mill Valley, California 94941

Sustainable Design

Viridian Energy & Environmental  
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Geotechnical Engineering

Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 225 W. 34th Street, New York, NY 10122

Landscape Consultant

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475 10th Avenue, New York, NY 10018

Security Consultant

Ducibella, Vantor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant

Weidinger Associates, Inc.  
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Acoustical Consultant

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Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

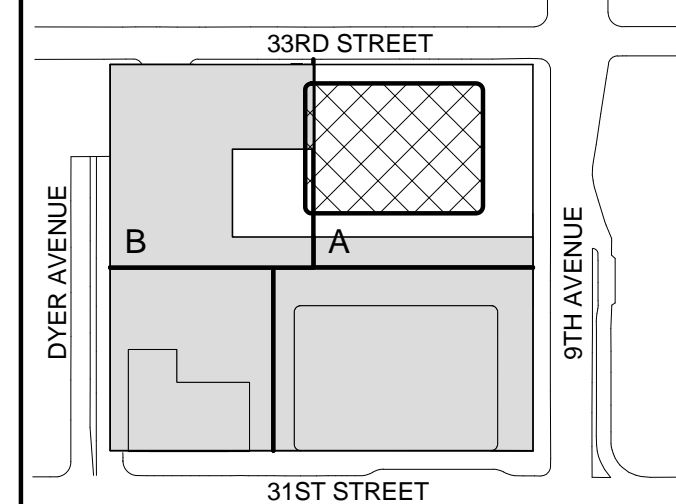
Facade Maintenance Consultant

Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:





- ZONING LEGENDS**
- GROSS BUILDING AREA
  - ZONING AREA DEDUCTIONS
  - ZONING FLOOR AREA
  - RETAIL
  - MR MECHANICAL ROOM
  - M MECHANICAL
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NORTH TOWER**  
401 Ninth Avenue, New York, NY 10001  
Client

**Brookfield**  
Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

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Skidmore, Owings & Merrill LLP  
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Philip Habib & Associates  
102 Madison Avenue #11, New York, NY 10016

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80 Pine Street, New York, NY 10005

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50 Washington Street, Newark, CT 06854

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Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 22nd W, 34th Street, New York, NY 10122

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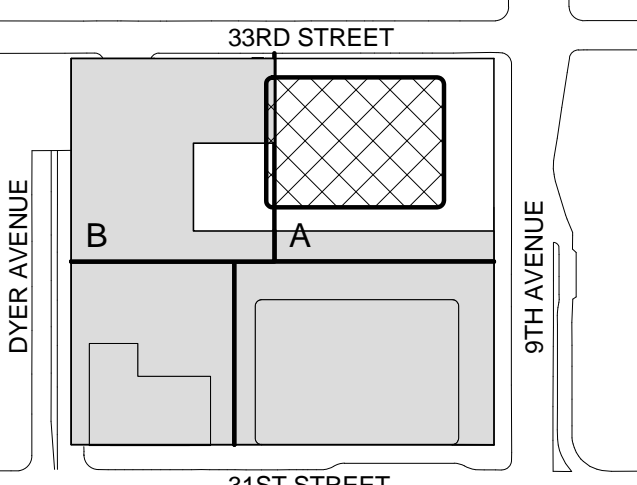
Vibration Consultant  
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166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:



Seal & Signature:

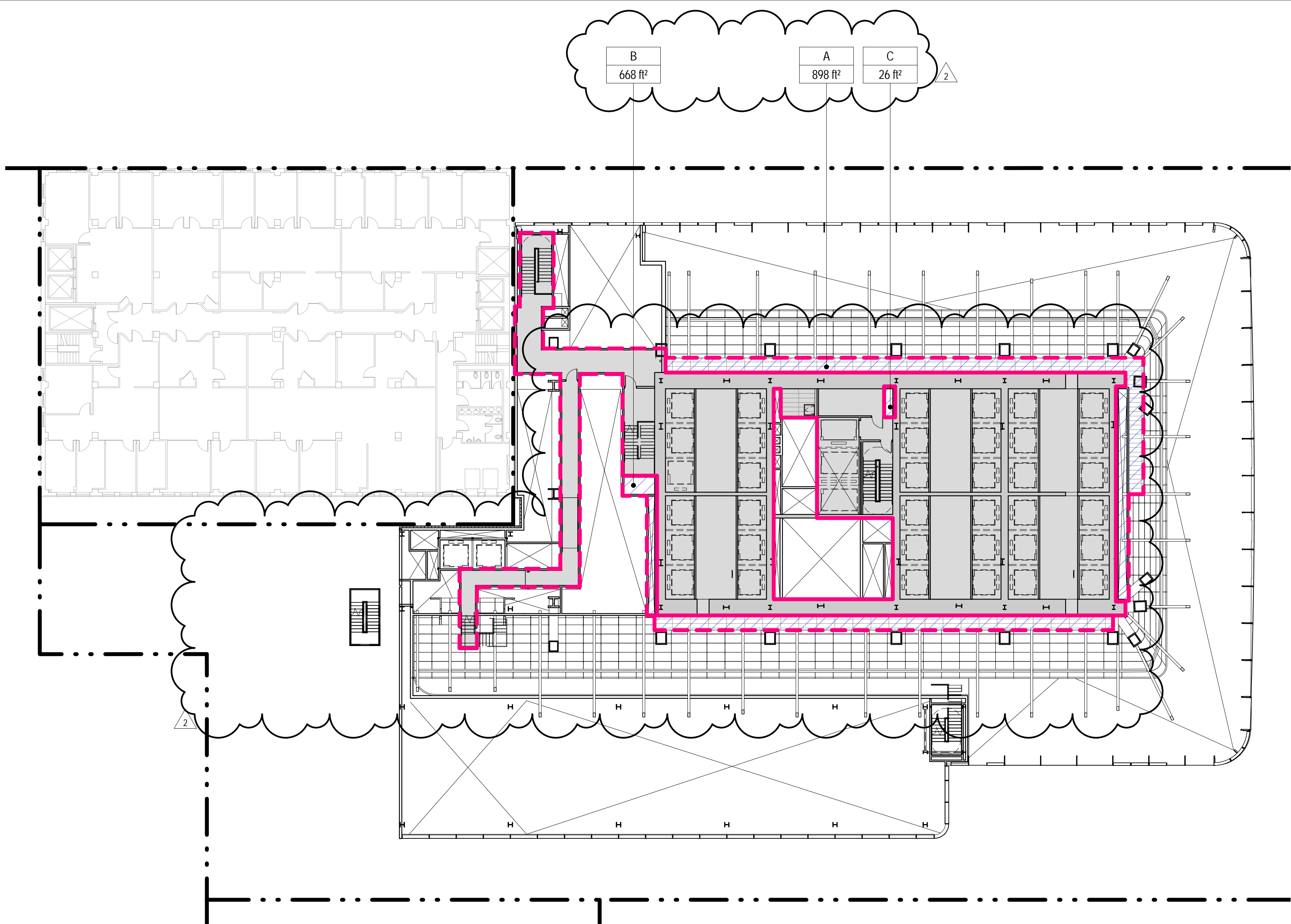


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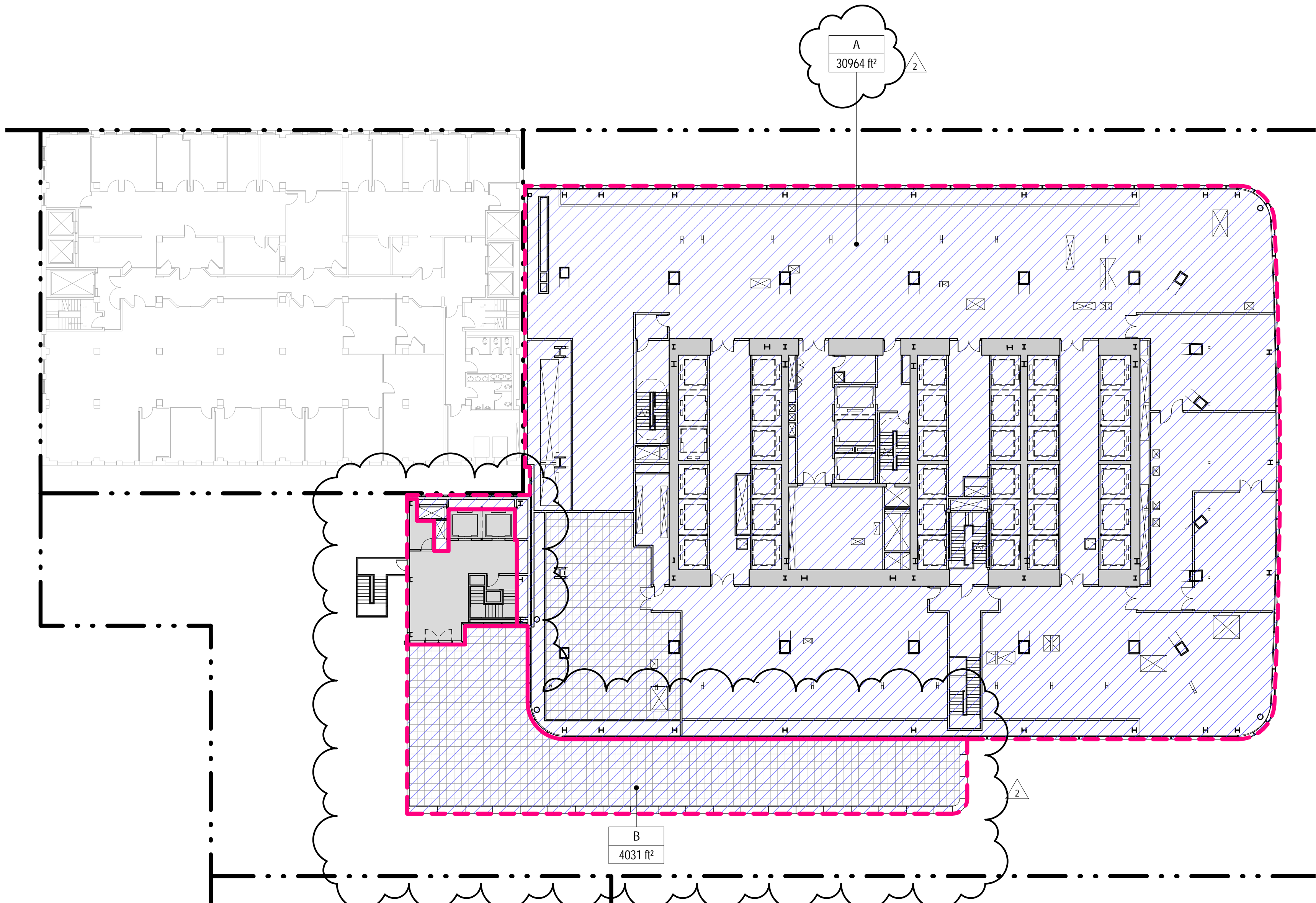
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1 21 JUL 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 1-4**

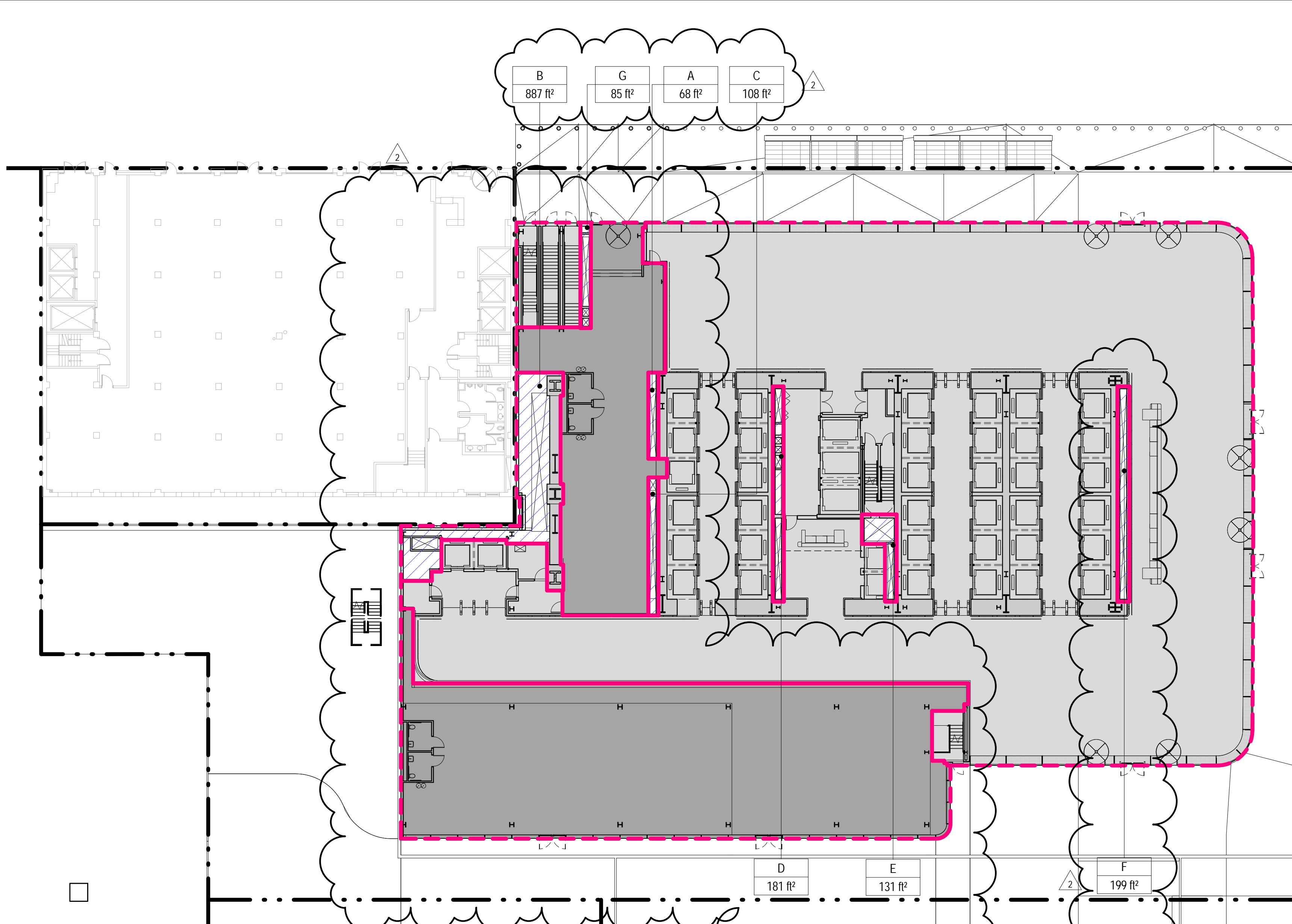
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Date: 22 APR 2016  
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B-SCAN Sheet No.: Z-104.01  
Sheet No.: Z-104  
Page No.: 11 OF



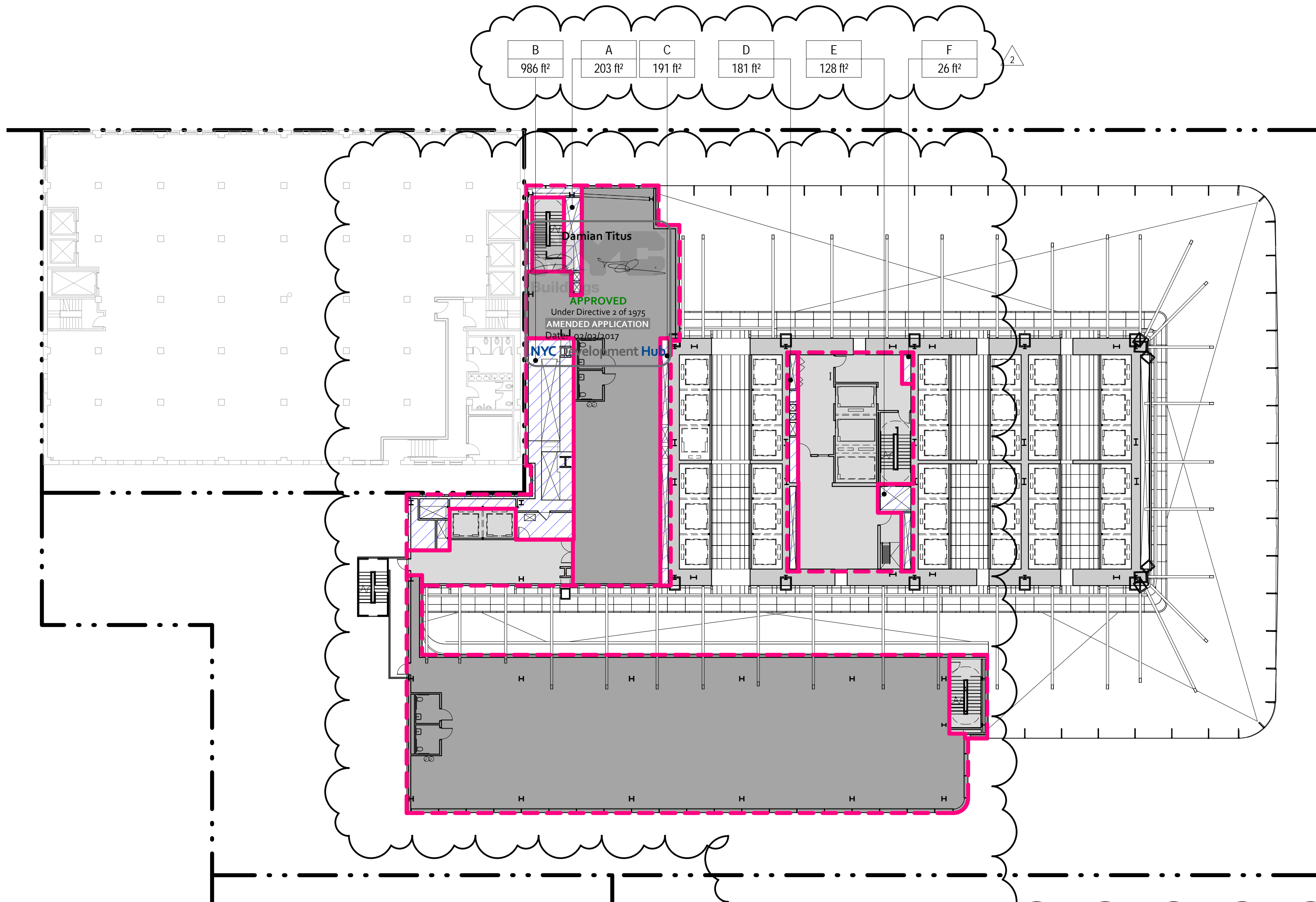
**3 LEVEL 3 PLAN**  
SCALE: 1" = 20' 0"



**4 LEVEL 4 PLAN**  
SCALE: 1" = 20' 0"



**1 LEVEL 1 PLAN**  
SCALE: 1" = 20' 0"



**2 LEVEL 2 PLAN**  
SCALE: 1" = 20' 0"



## GENERAL NOTES

## ZONING LEGENDS

- GROSS BUILDING AREA  
 ZONING AREA DEDUCTIONS  
 ZONING FLOOR AREA  
 RETAIL
- MR MECHANICAL ROOM  
M MECHANICAL  
E ELECTRICAL/TEL./IT  
P PLUMBING  
EM ELEVATOR MACHINE ROOM

MANHATTAN WEST:  
NORTH TOWER

401 Ninth Avenue, New York, NY 10001

Client

**Brookfield**Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10001

Architecture/Structural Engineering

**SOM**Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005

Civil Engineering

Philip Habib & Associates  
102 Madison Avenue #11, New York, NY 10016

MEP Engineering

Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005

Vertical Transportation

Edgett Williams Consulting Group, Inc.  
102 East Blithedale Ave., Suite 1, Mill Valley, California 94941

Sustainable Design

Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06854

Geotechnical Engineering

Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 225 W. 34th Street, New York, NY 10122

Landscape Consultant

Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant

Ducibella, Ventor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant

Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

Acoustical Consultant

Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

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65 Broadway, Suite 401, New York, NY 10006

Code Consultant

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215 West 40th Street, 15th Floor, New York, NY 10018

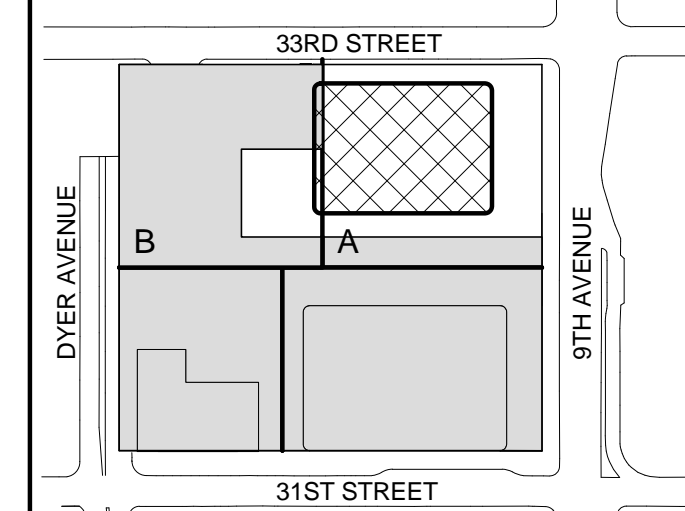
Facade Maintenance Consultant

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166 Ames Street, Hackensack, NJ 07601

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680 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

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Sheet Name:ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 5-8

Project No.:

207150

Date:

22 APR 2016

Scale:

As indicated

File No.:

Z-105

B-SCAN Sheet No.:

Z-105.02

Sheet No.:

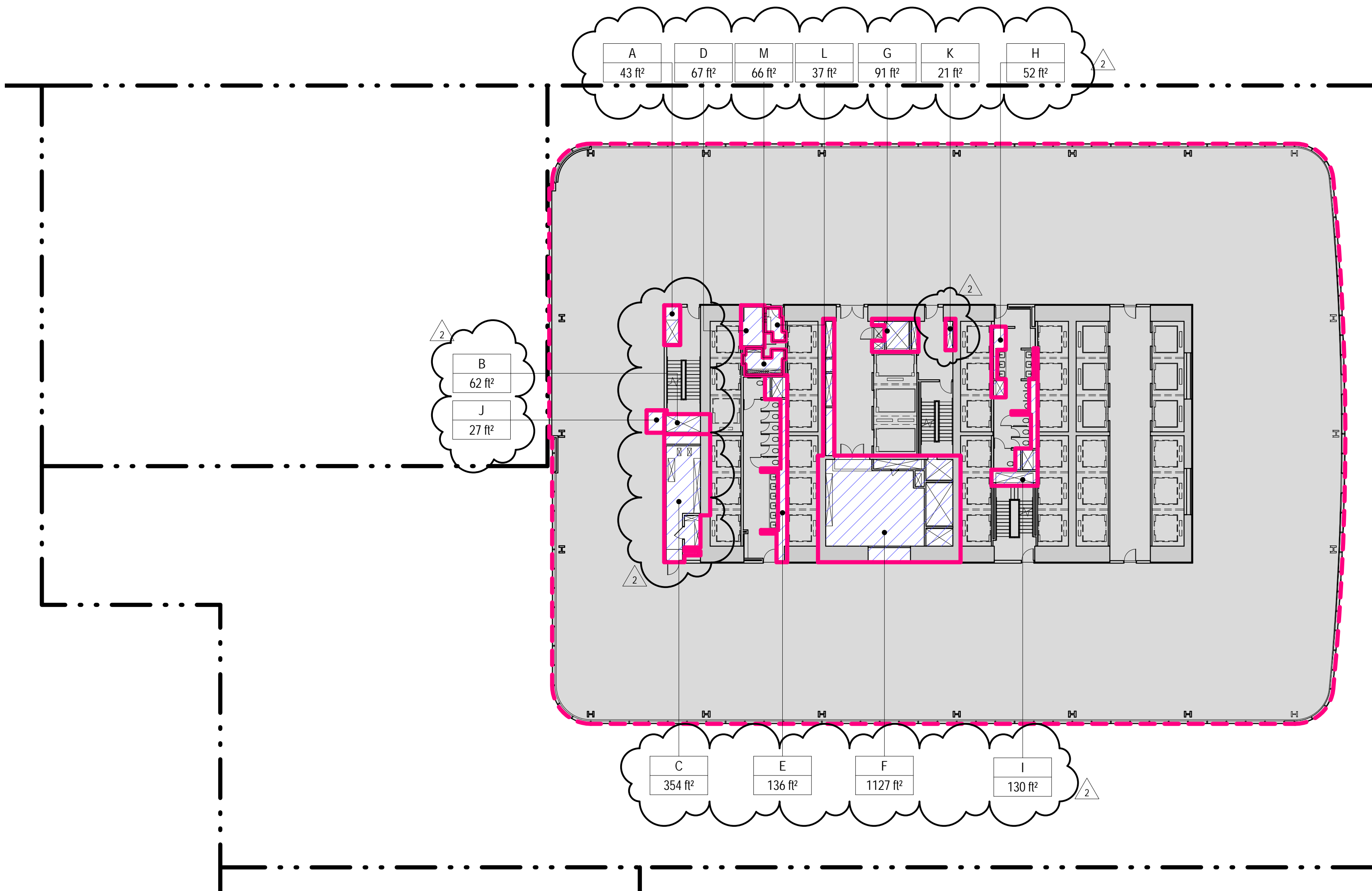
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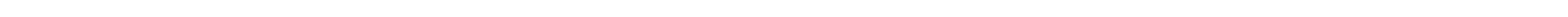
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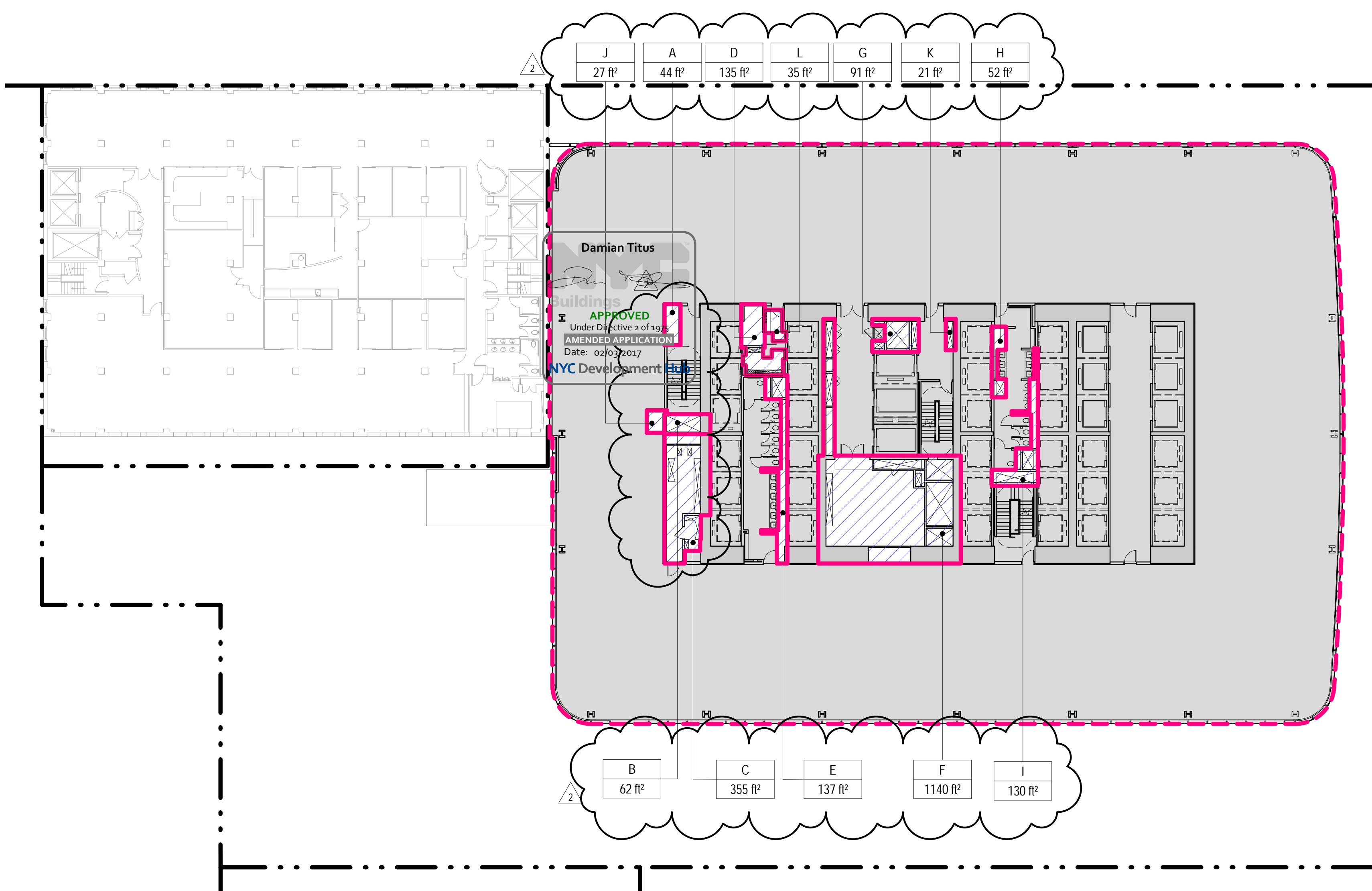
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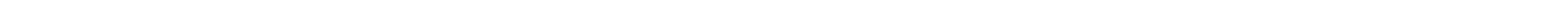
## 1 LEVEL 5 PLAN

SCALE: 1" = 20'-0"



## 2 LEVEL 6 PLAN




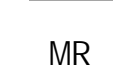
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## GENERAL NOTES

## ZONING LEGENDS

-  GROSS BUILDING AREA
-  ZONING AREA DEDUCTIONS
-  ZONING FLOOR AREA
-  RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL./IT
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- EM ELEVATOR MACHINE ROOM

MANHATTAN WEST:  
NORTH TOWER

401 Ninth Avenue, New York, NY 10001

Client

## Brookfield

Brookfield Place  
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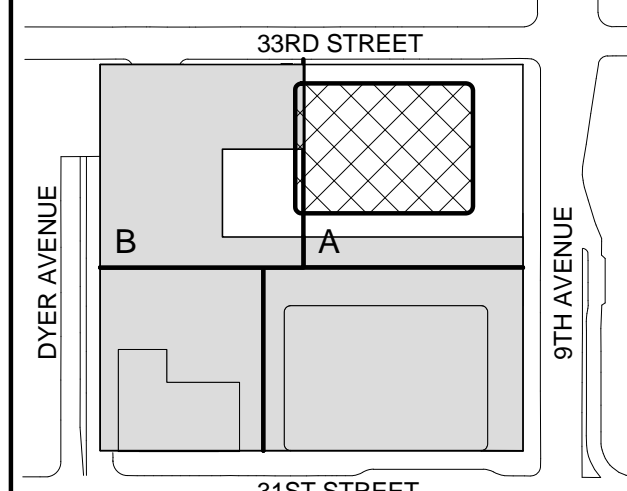
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650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8





Key Plan:





## GENERAL NOTES

## ZONING LEGENDS

-  GROSS BUILDING AREA
-  ZONING AREA DEDUCTIONS
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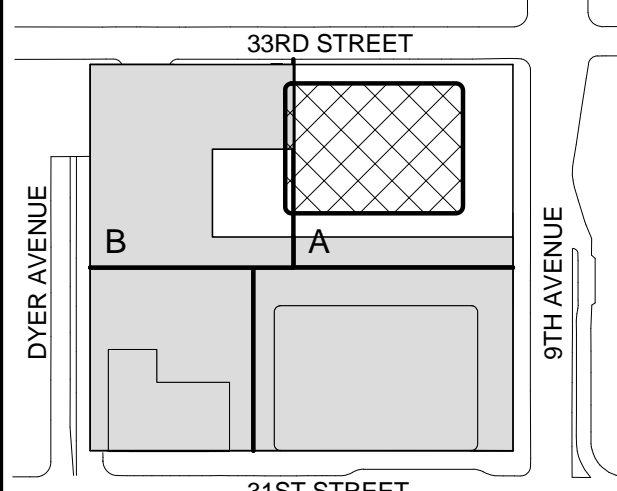
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Key Plan:



Seal &amp; Signature:



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ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 13-16

Project No.:

207150

Date:

22 APR 2016

Scale:

1/16" = 1'-0"

File No.:

Z-107

B-SCAN Sheet No.:

Z-107.02

Sheet No.:

Z-107

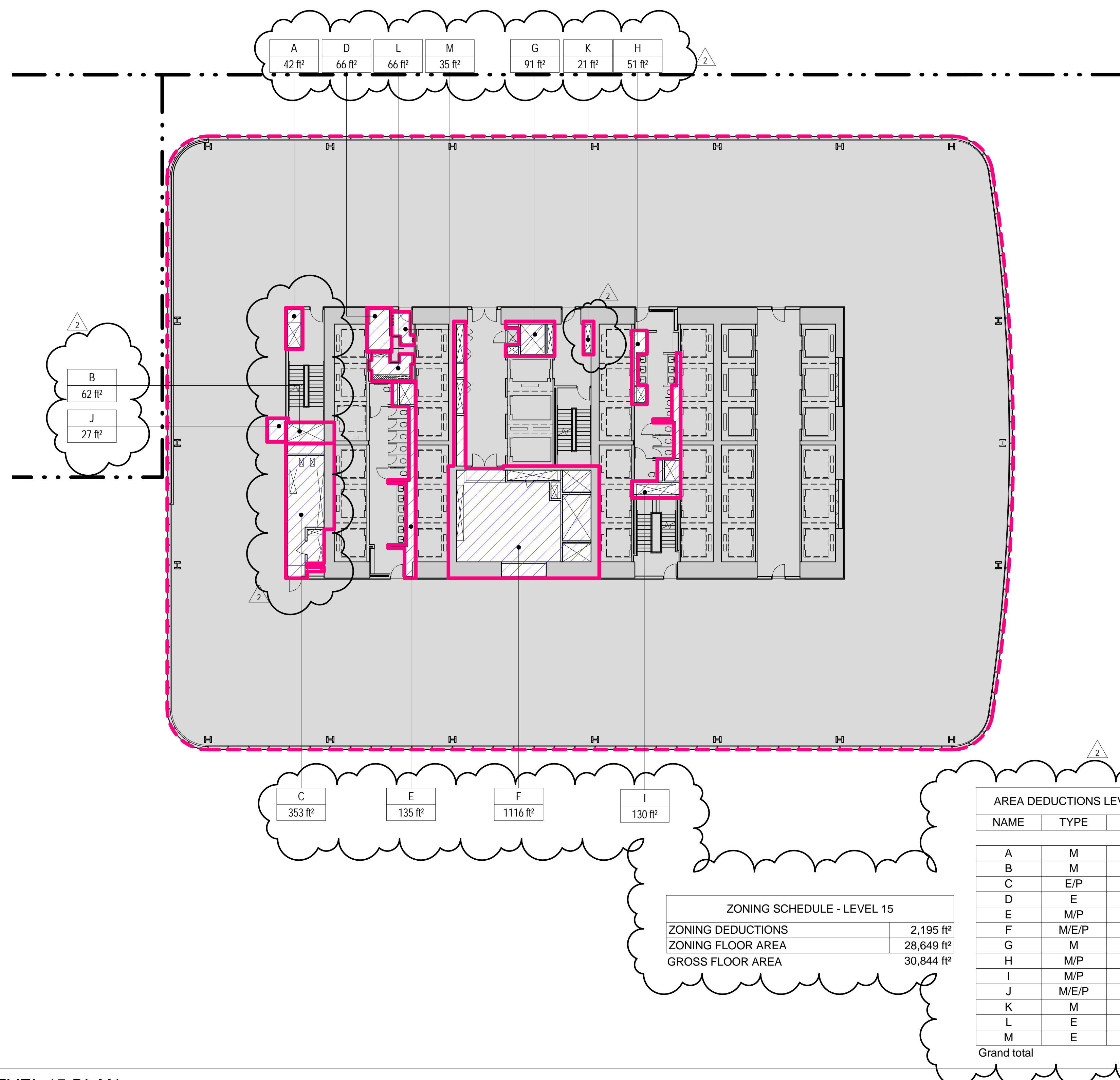
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14 OF

3

## LEVEL 15 PLAN

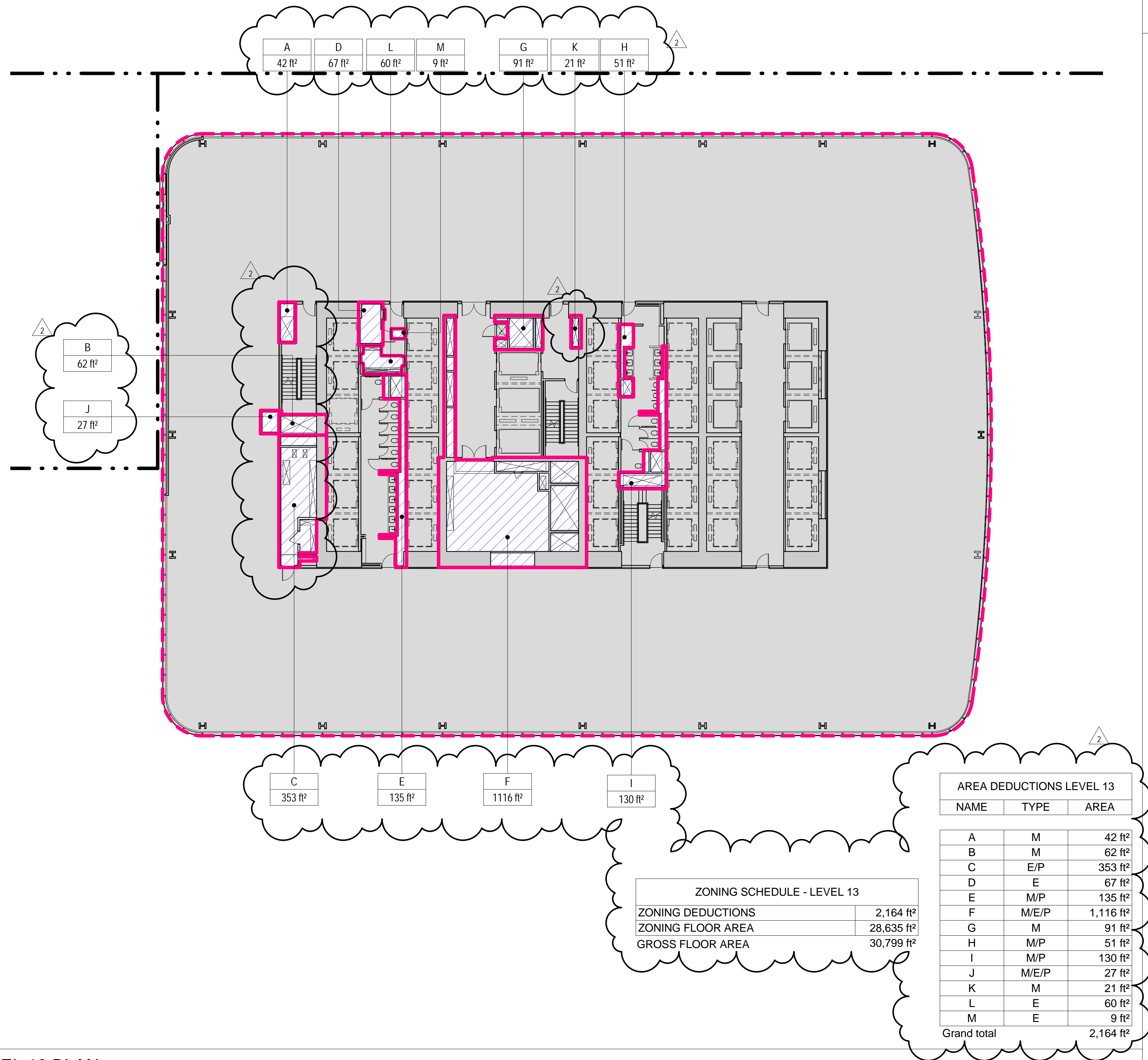
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1

## LEVEL 13 PLAN

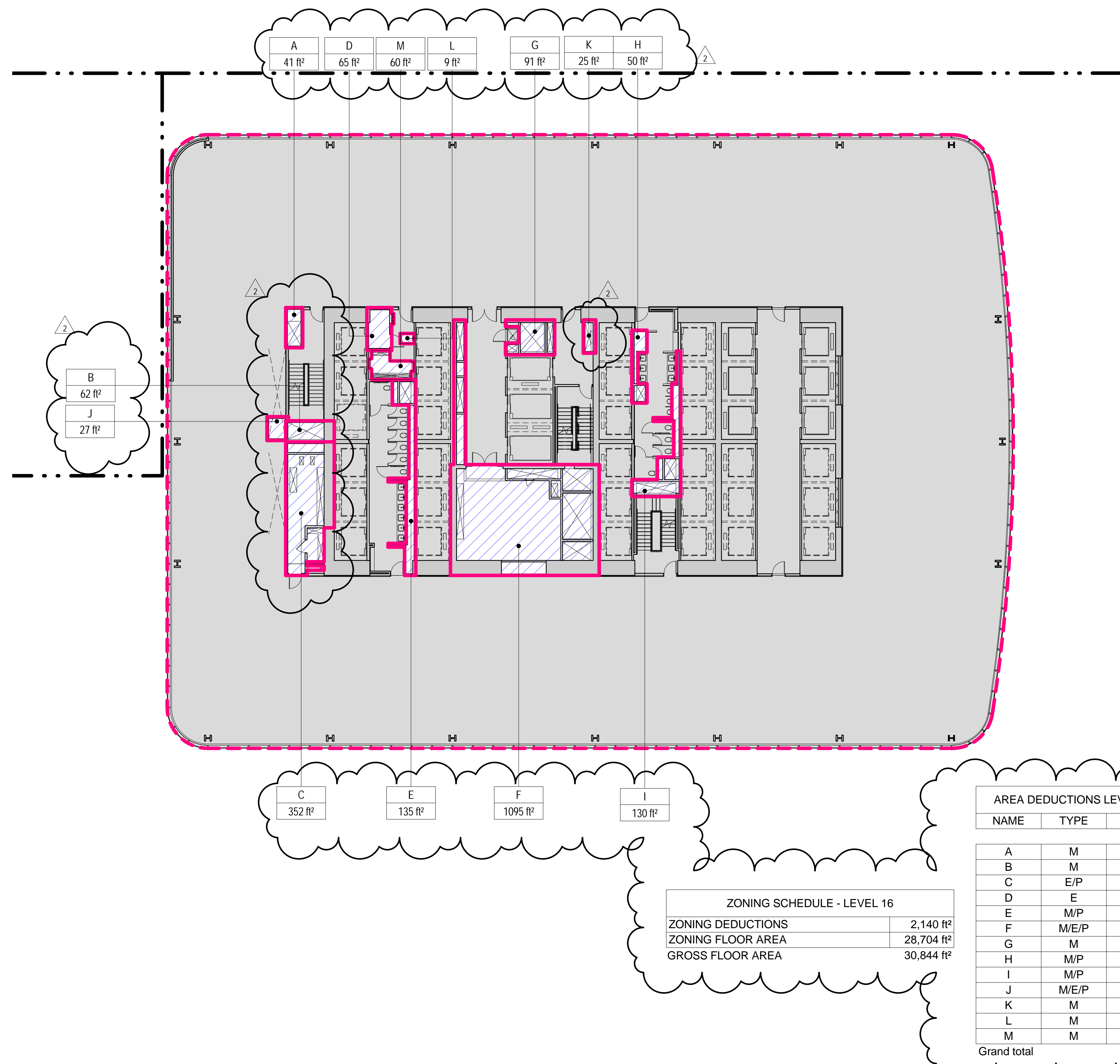
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4

## LEVEL 16 PLAN

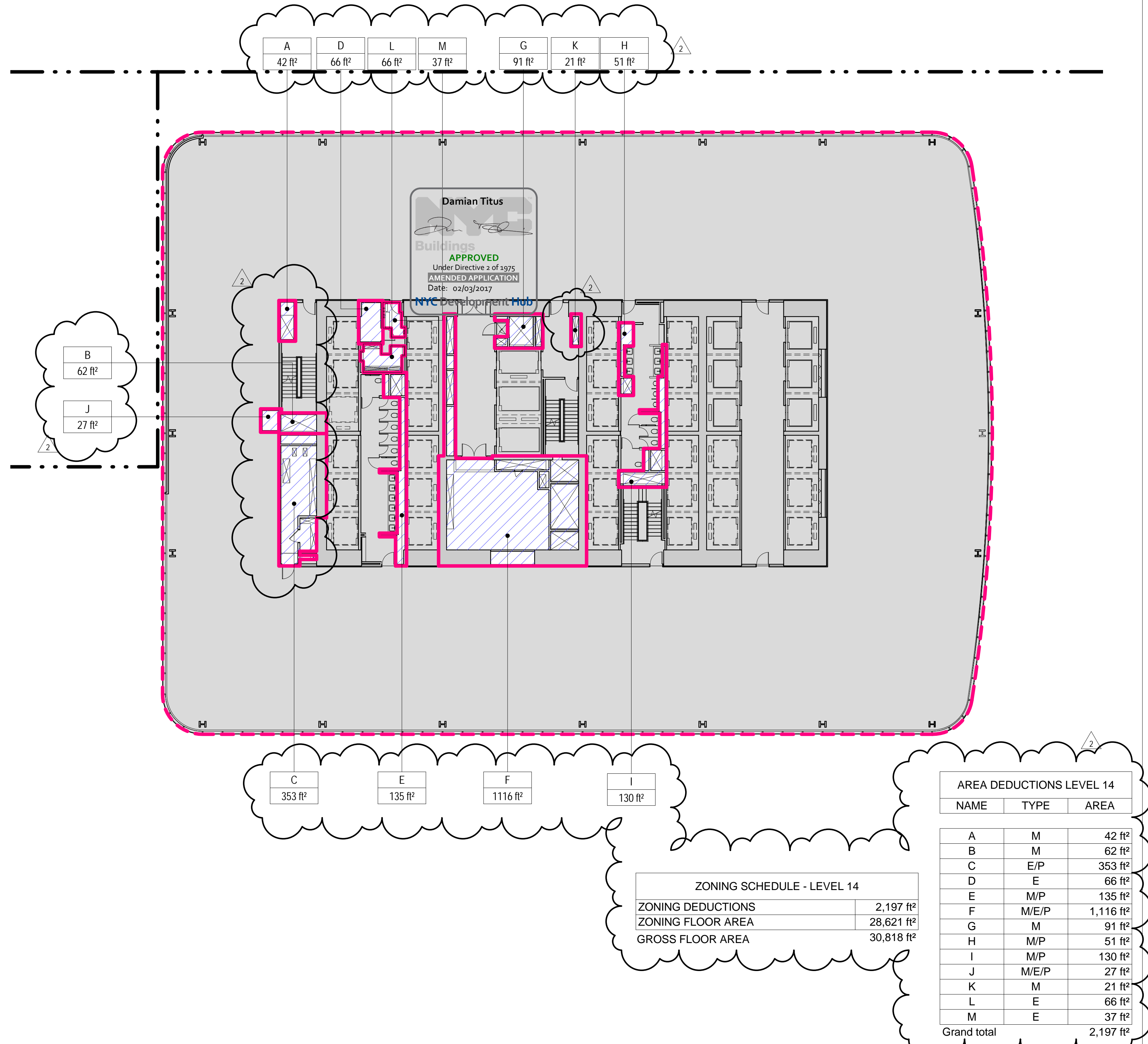
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2

## LEVEL 14 PLAN





SCALE: 1/16" = 1'-0"





## GENERAL NOTES

## ZONING LEGENDS

-  GROSS BUILDING AREA  
 ZONING AREA DEDUCTIONS  
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P PLUMBING  
EM ELEVATOR MACHINE ROOM

MANHATTAN WEST:  
NORTH TOWER

401 Ninth Avenue, New York, NY 10001

Client

**Brookfield**Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

Architecture/Structural Engineering

**SOM**Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005

Civil Engineering

Philip Habb & Associates  
102 Madison Avenue #11, New York, NY 10016

MEP Engineering

Jaros Baum & Bolles  
80 Pine Street, New York, NY 10005

Vertical Transportation

Edgett Williams Consulting Group, Inc.  
102 East Bluffside Ave, Suite 1, Mill Valley, California 94941

Sustainable Design

Viridian Energy & Environmental  
50 Washington Street, Newark, CT 06854

Geotechnical Engineering

Mueser Rutledge Consulting Engineers  
14 Penn Plaza, 225 W. 34th Street, New York, NY 10122

Landscape Consultant

Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant

Ducibella, Ventor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant

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Acoustical Consultant

Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

Vibration Consultant

Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant

Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

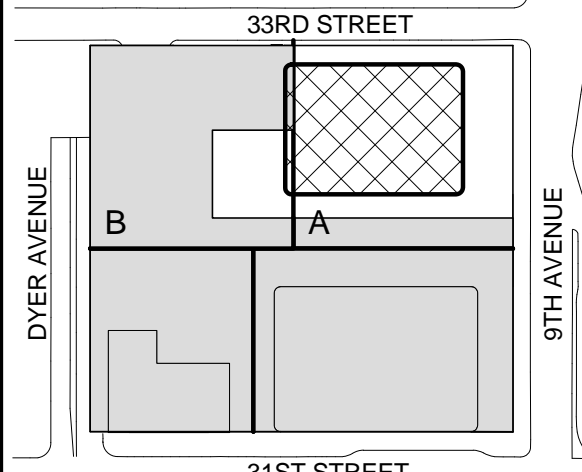
Facade Maintenance Consultant

Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

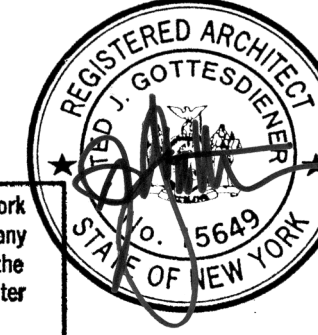
Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph  
Ontario, Canada N1K 1B6

Key Plan:



Seal &amp; Signature:



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ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 17-20

Project No.:

207150

Date:

22 APR 2016

Scale:

1/16" = 1'-0"

File No.:

2-108

B-SCAN Sheet No.:

Z-108.02

Sheet No.:

Z-108

Page No.:

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3

## LEVEL 19 PLAN

SCALE: 1/16" = 1'-0"

1

## LEVEL 17 PLAN

SCALE: 1/16" = 1'-0"

4

## LEVEL 20 PLAN

SCALE: 1/16" = 1'-0"

2





## LEVEL 18 PLAN

SCALE: 1/16" = 1'-0"



## GENERAL NOTES

## ZONING LEGENDS

-  GROSS BUILDING AREA
-  ZONING AREA DEDUCTIONS
-  ZONING FLOOR AREA
-  RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL./IT
- P PLUMBING
- EM ELEVATOR MACHINE ROOM



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NORTH TOWER**  
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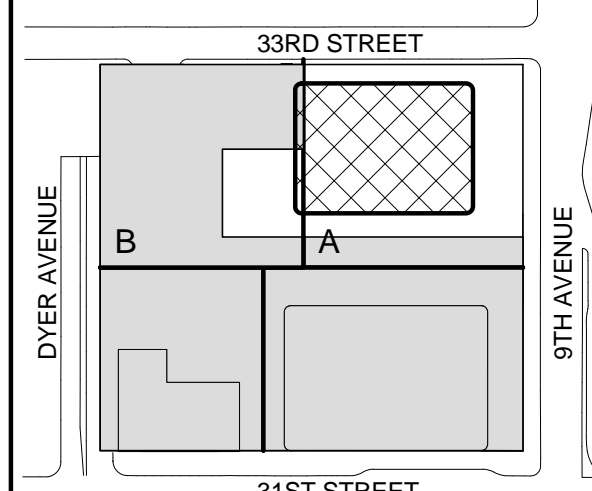
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166 Ames Street, Hackensack, NJ 07601

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Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B6

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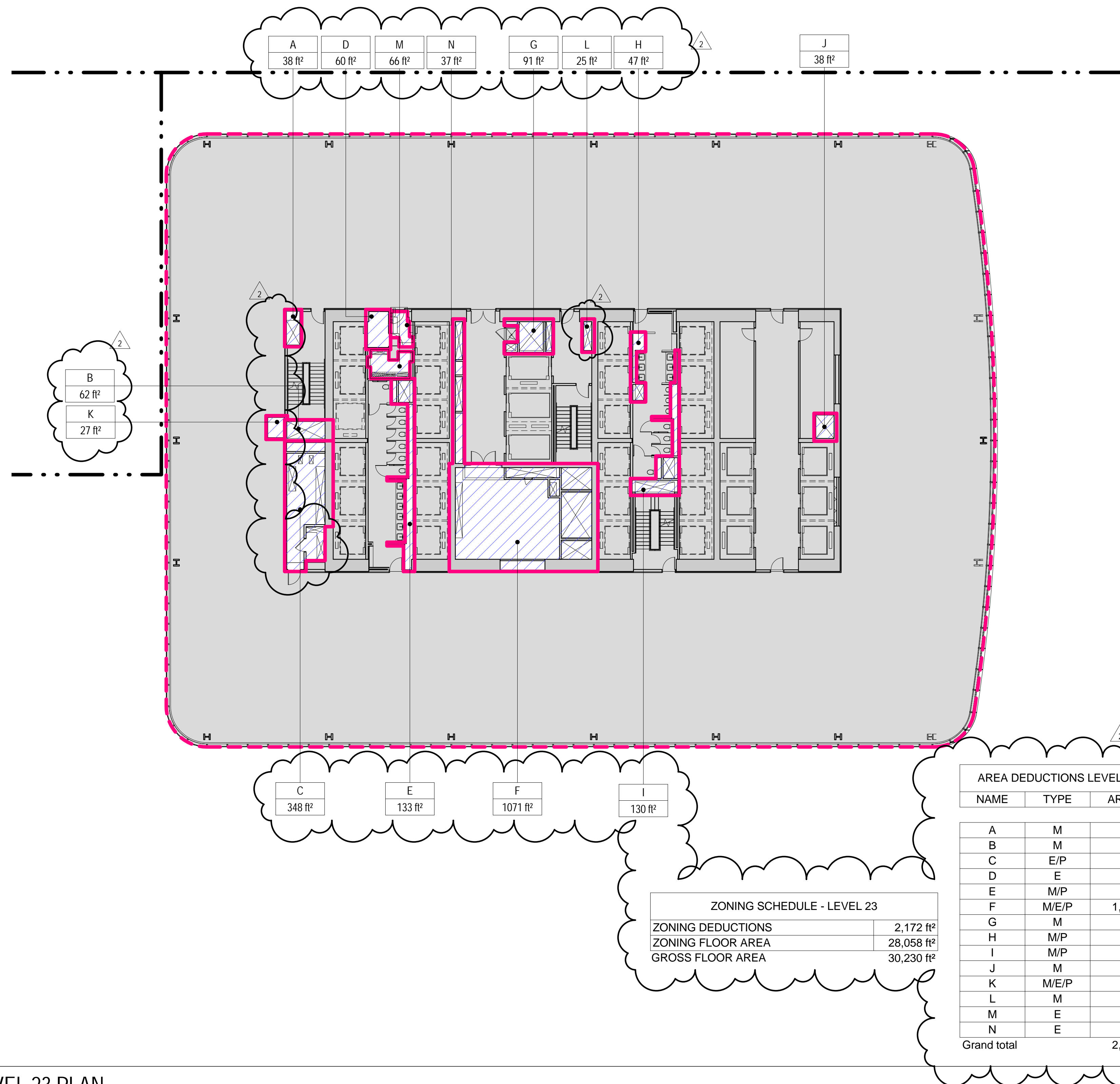
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No.	Date	Description
Sheet Name:		

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 21-24**

Project No.: 207150	B-SCAN Sheet No.: <b>Z-109.02</b>
Date: 22 APR 2016	Sheet No.: Z-109
Scale: 1/16" = 1'-0"	Page No.: 16 OF
File No.: Z-109	

**3** LEVEL 23 PLAN

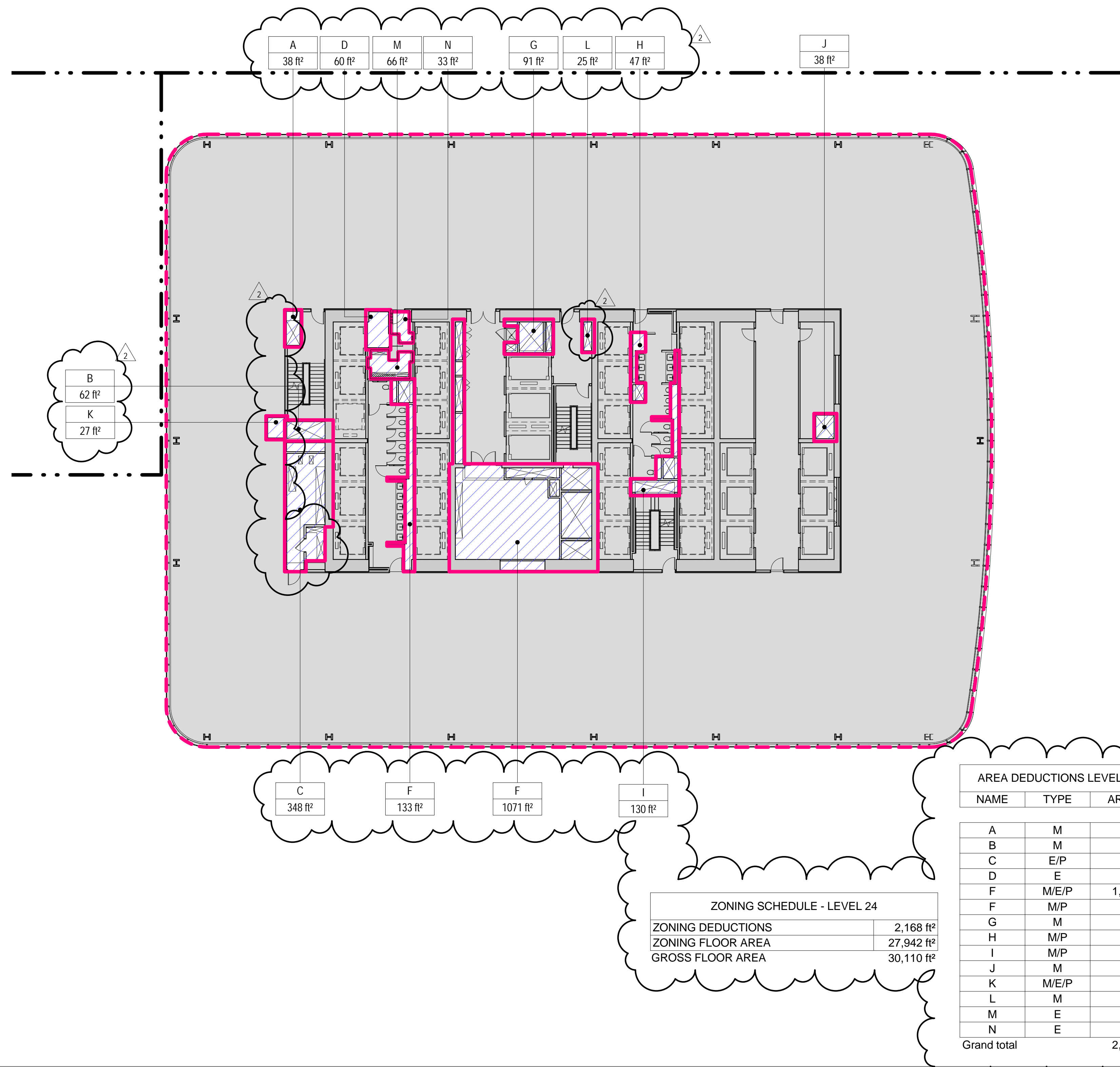
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**1** LEVEL 21 PLAN

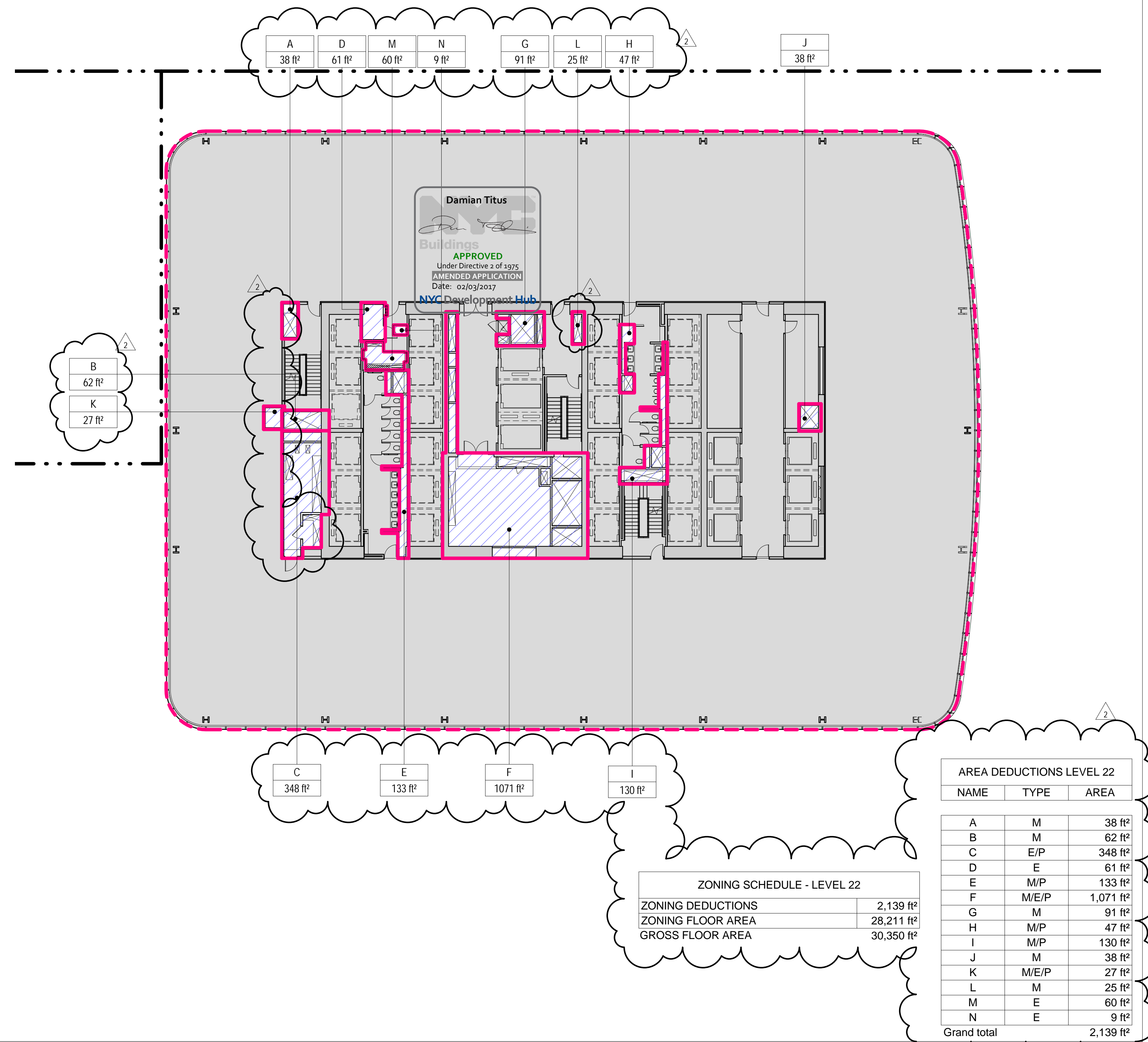
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**4** LEVEL 24 PLAN

SCALE: 1/16" = 1'-0"

**2** LEVEL 22 PLAN





SCALE: 1/16" = 1'-0"





## GENERAL NOTES

## ZONING LEGENDS

-  GROSS BUILDING AREA  
 ZONING AREA DEDUCTIONS  
 ZONING FLOOR AREA  
 RETAIL
- MR MECHANICAL ROOM  
M MECHANICAL  
E ELECTRICAL/TEL./IT  
P PLUMBING  
EM ELEVATOR MACHINE ROOM

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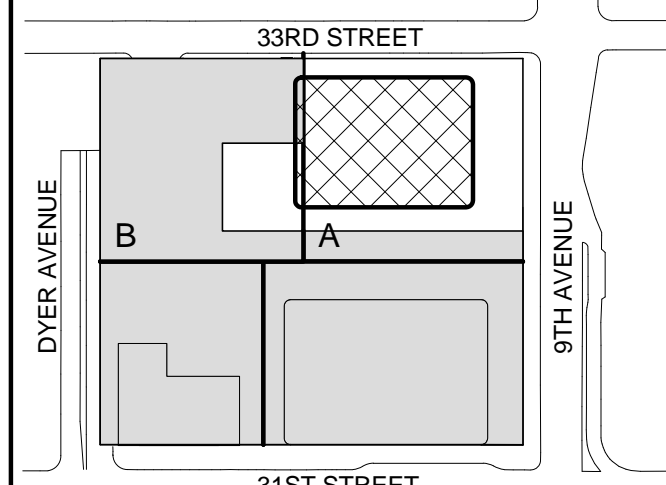
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ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 25-28

Project No.:

207150

Date:

22 APR 2016

Scale:

1/16" = 1'-0"

File No.:

Z-110

B-SCAN Sheet No.:

Z-110.02

Sheet No.:

Z-110

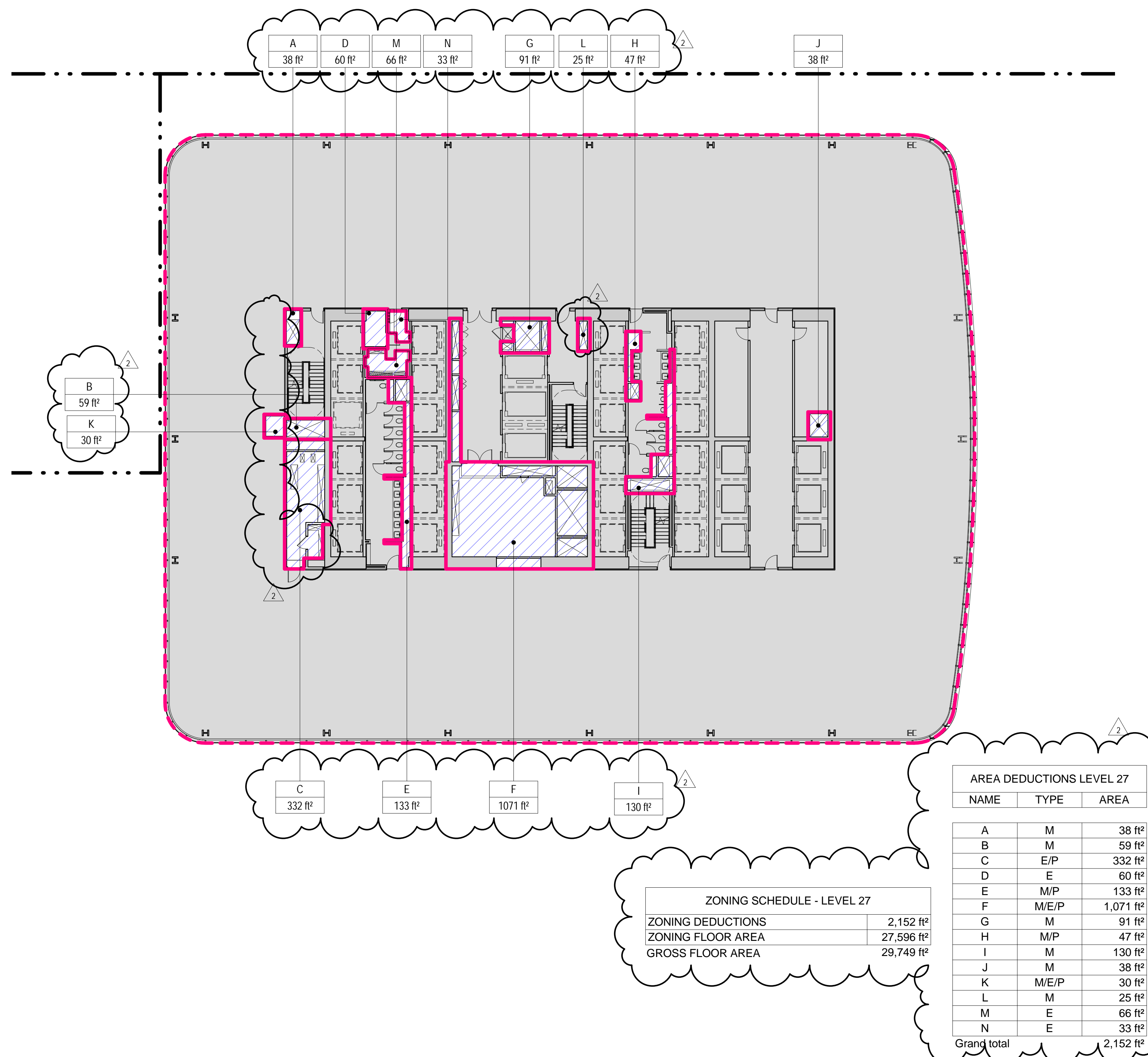
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3

## LEVEL 27 PLAN

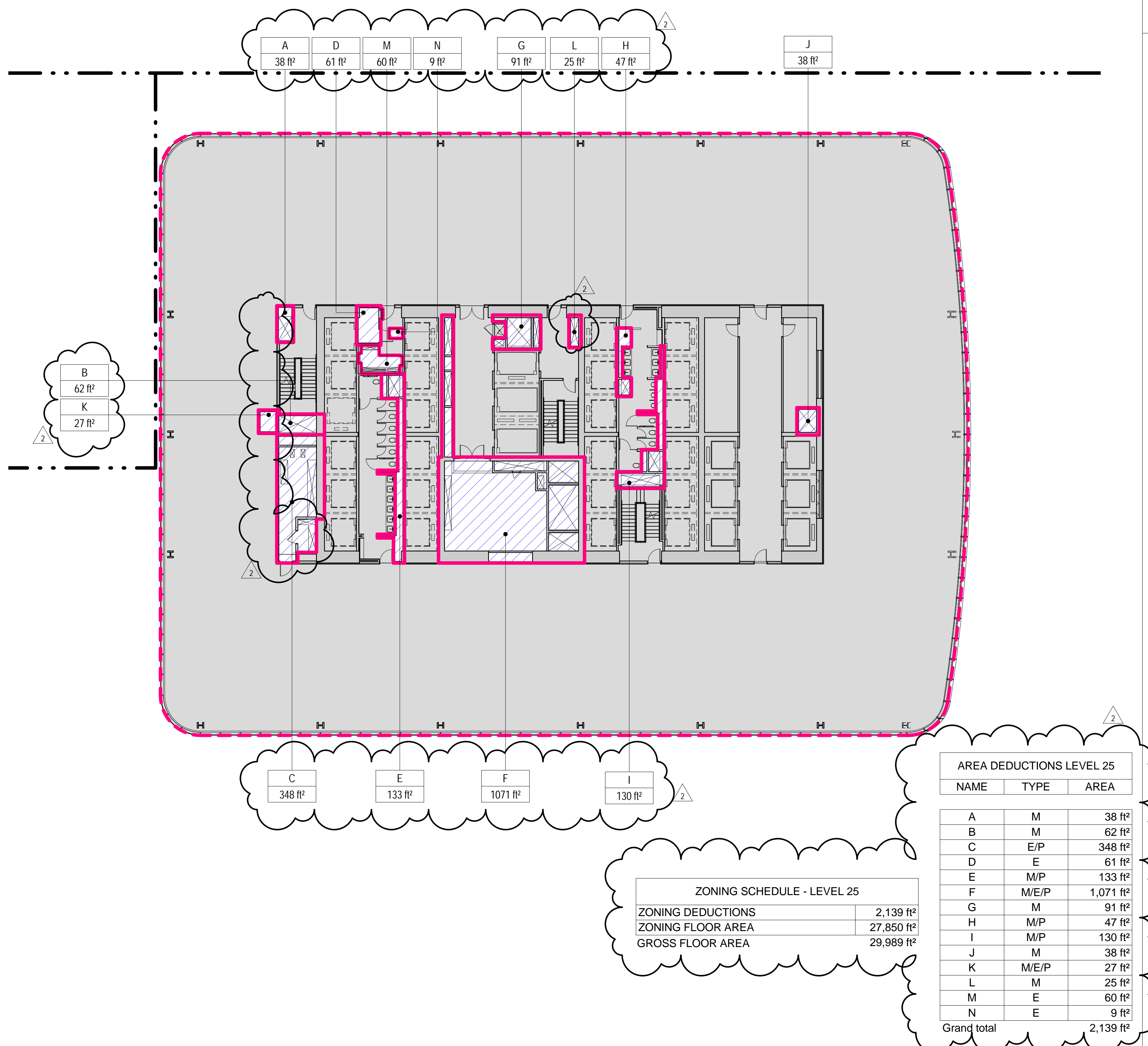
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## LEVEL 25 PLAN

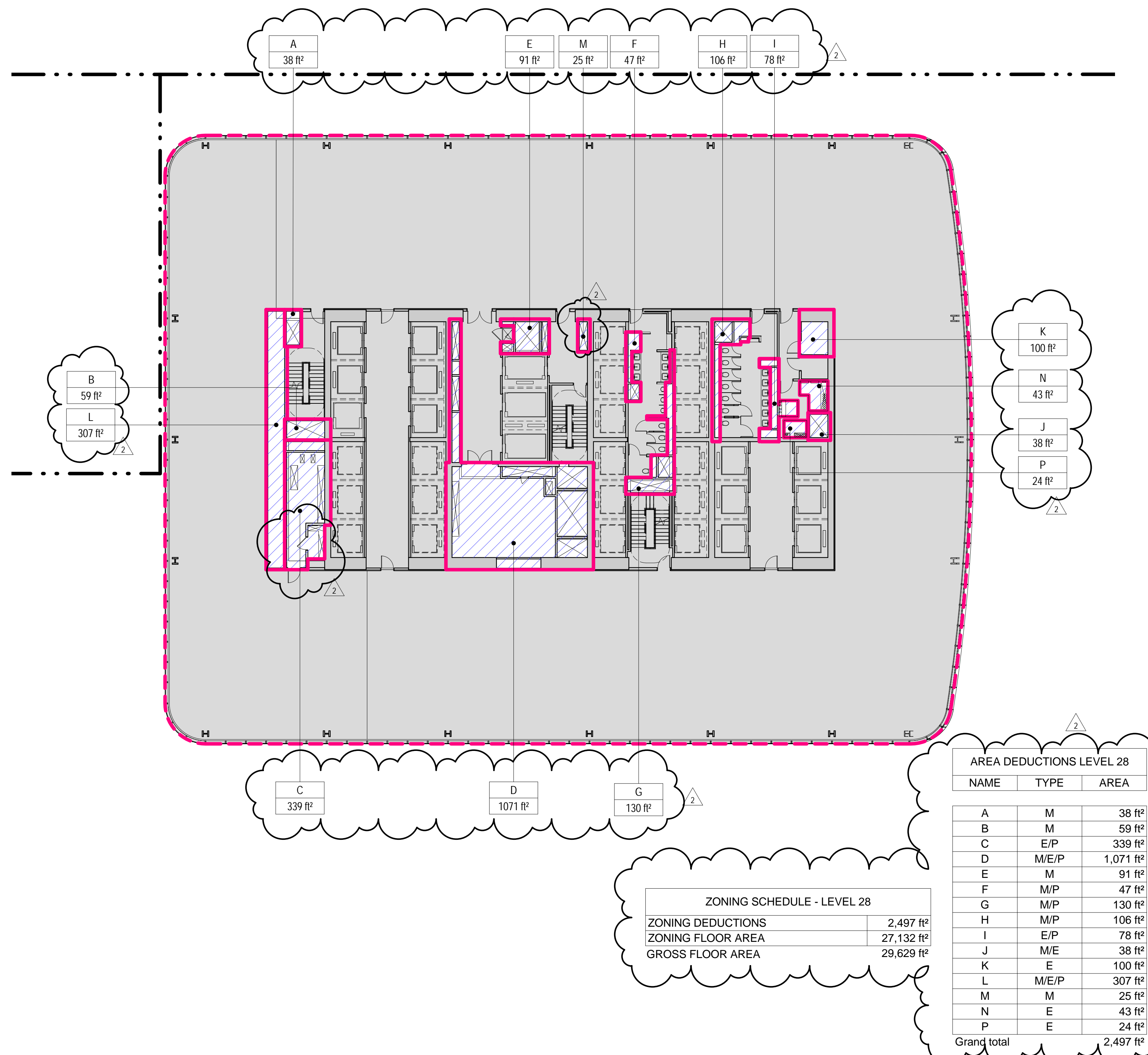
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## LEVEL 28 PLAN

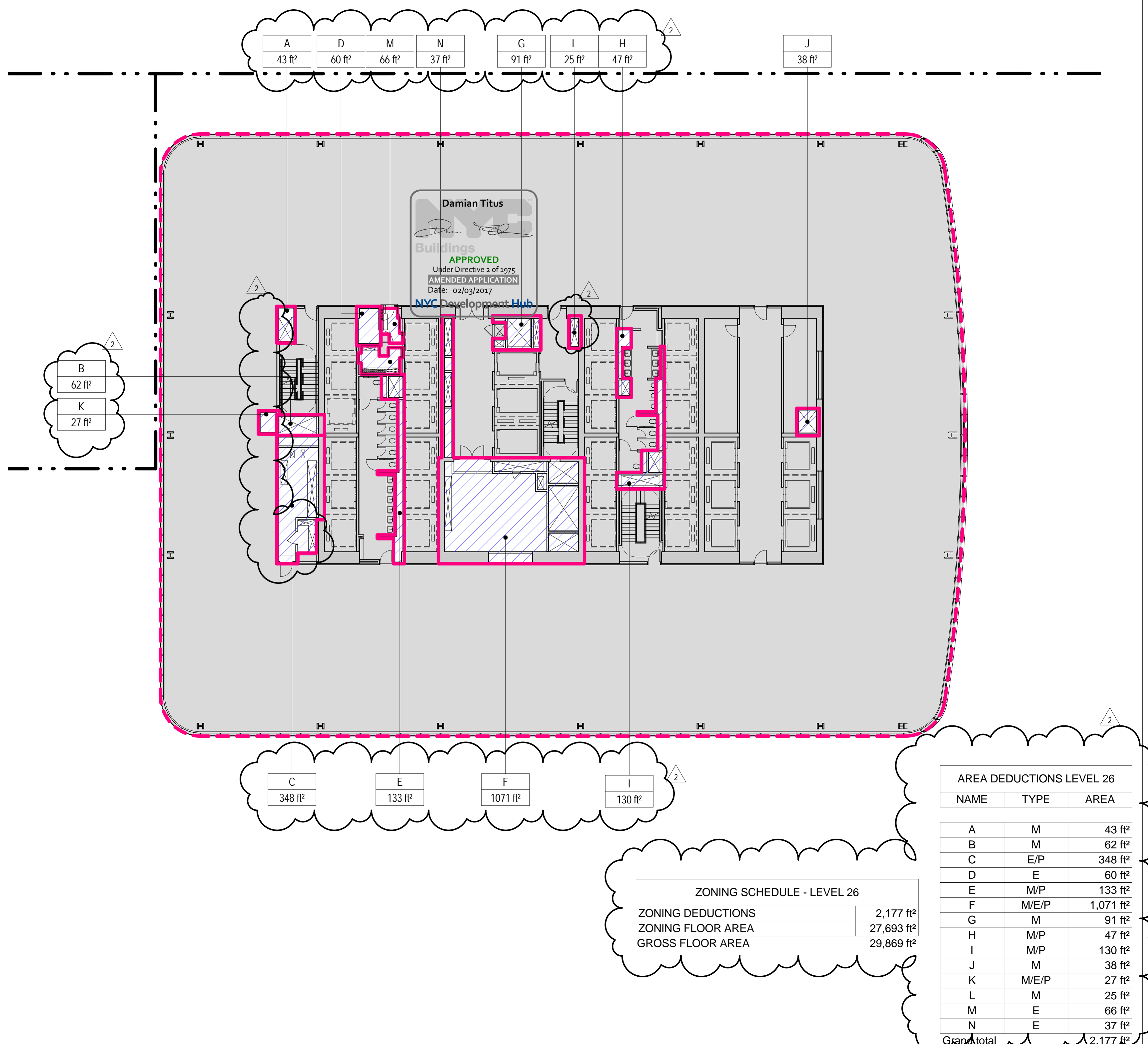
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## LEVEL 26 PLAN

SCALE: 1/16" = 1'-0"

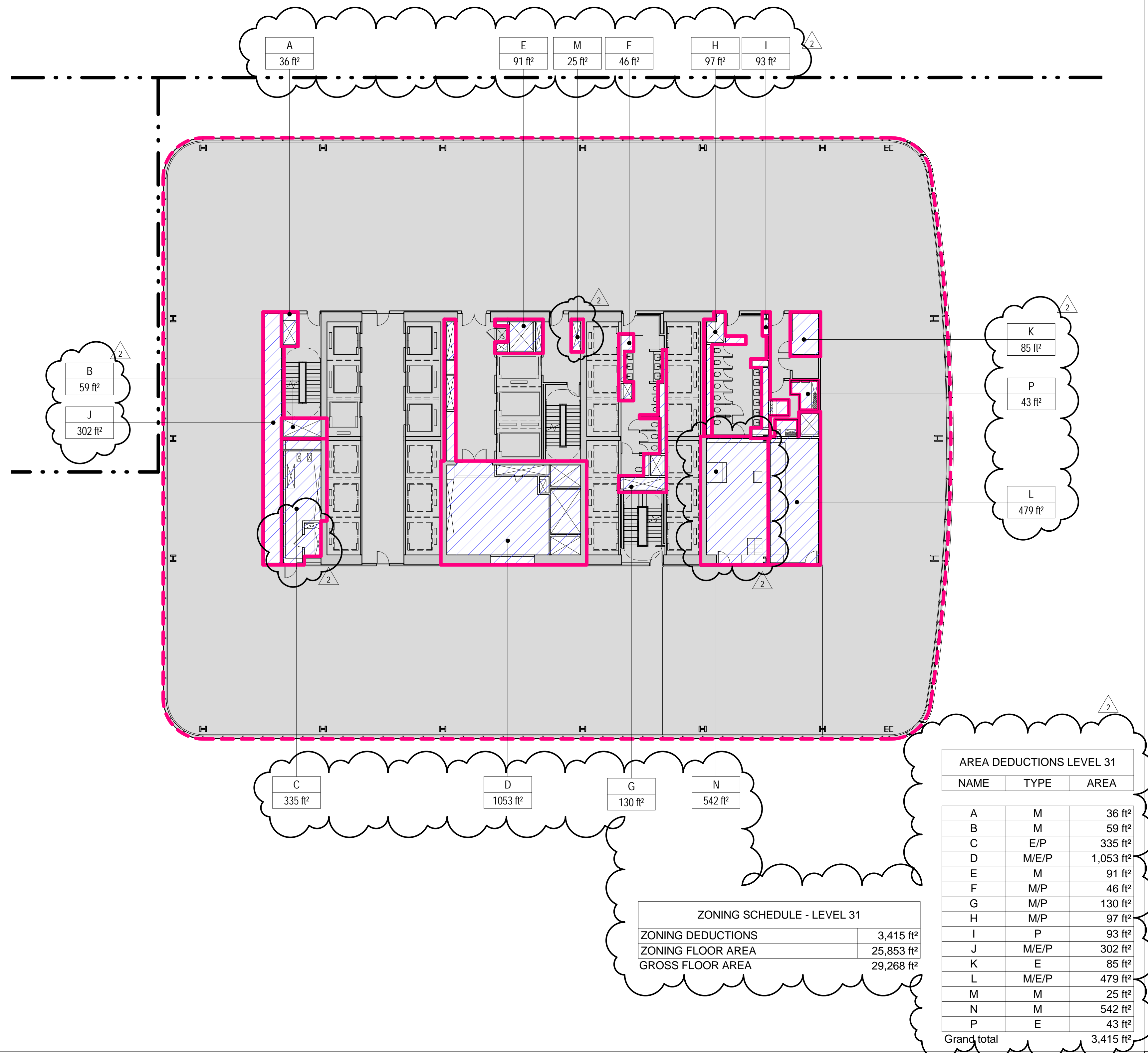




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### 3 LEVEL 31 PLAN

SCALE: 1/16" = 1'-0"



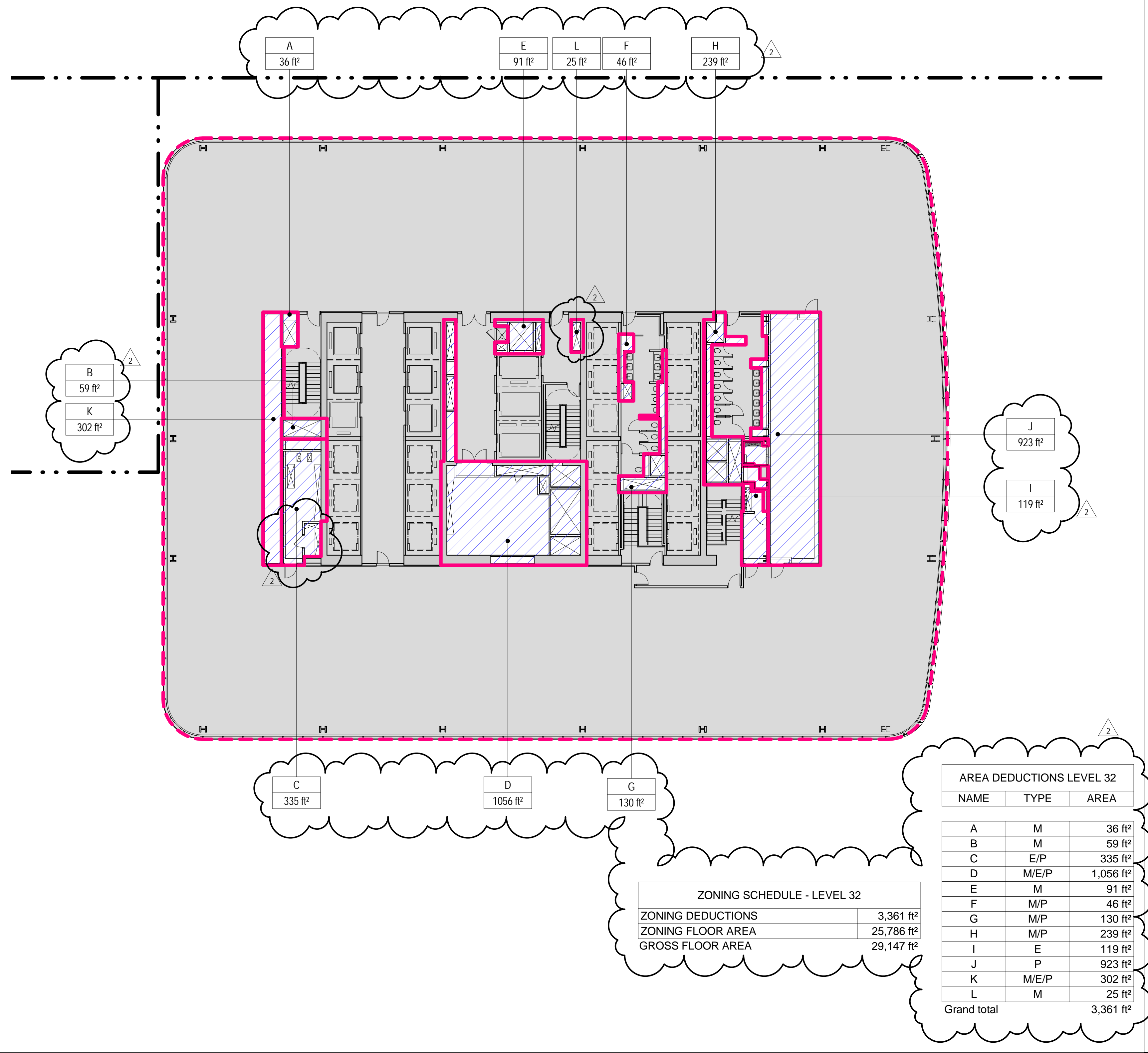
### 1 LEVEL 29 PLAN

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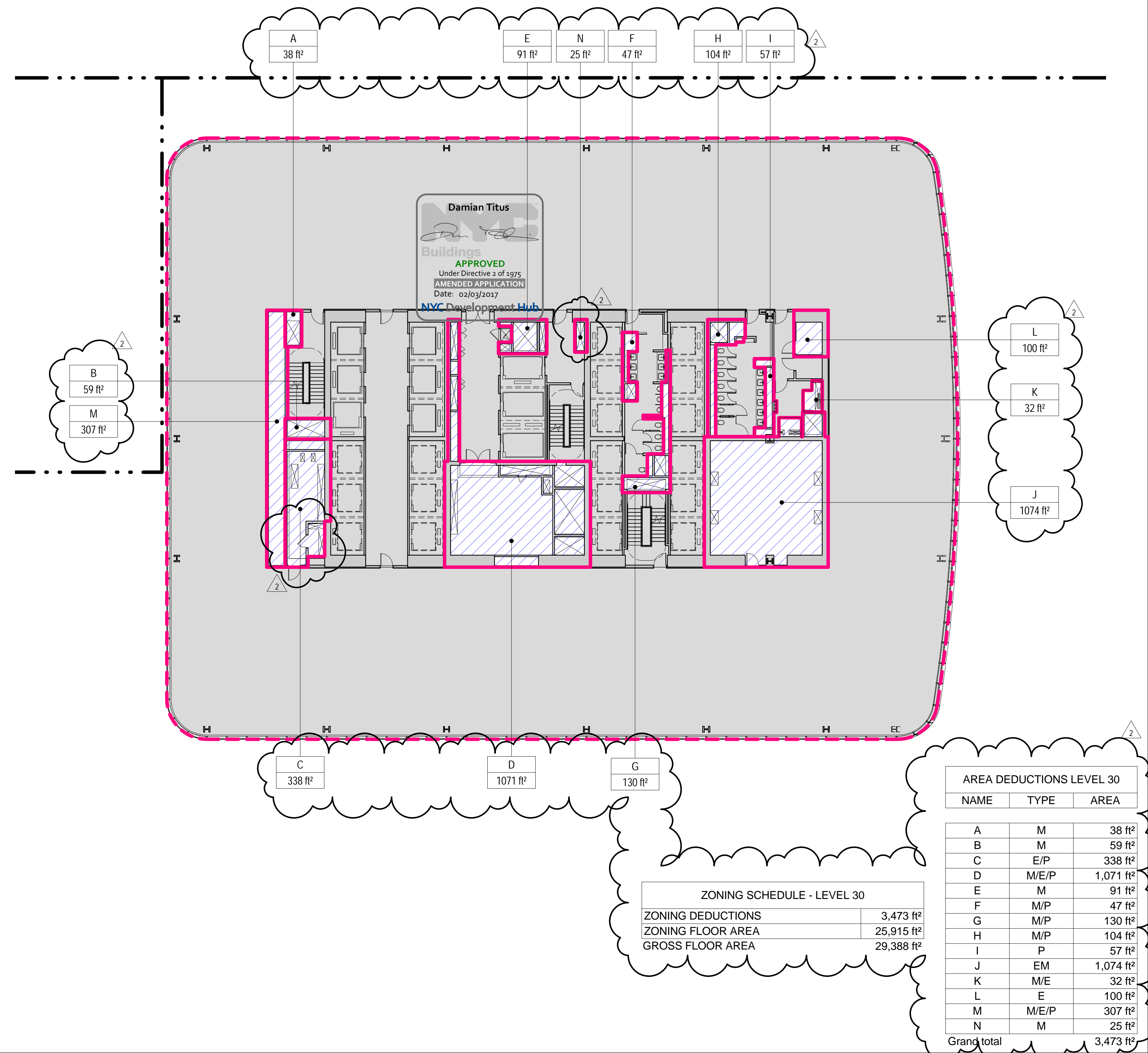
### 4 LEVEL 32 PLAN

SCALE: 1/16" = 1'-0"



### 2 LEVEL 30 PLAN

SCALE: 1/16" = 1'-0"



## GENERAL NOTES

### ZONING LEGENDS

- GROSS BUILDING AREA
- ZONING AREA DEDUCTIONS
- ZONING FLOOR AREA
- RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL./IT
- P PLUMBING
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40 Wall Street, New York, NY 10005

Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

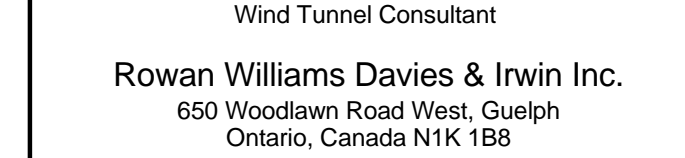
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Code Consultants Professional Engineers PC  
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Rowan Williams Davies & Irwin Inc.  
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Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/16" = 1'-0"

Sheet No.: Z-111.02  
Page No.: 18 OF

Revision:

Revision:

Revision:

Revision:

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Revision:

Revision:

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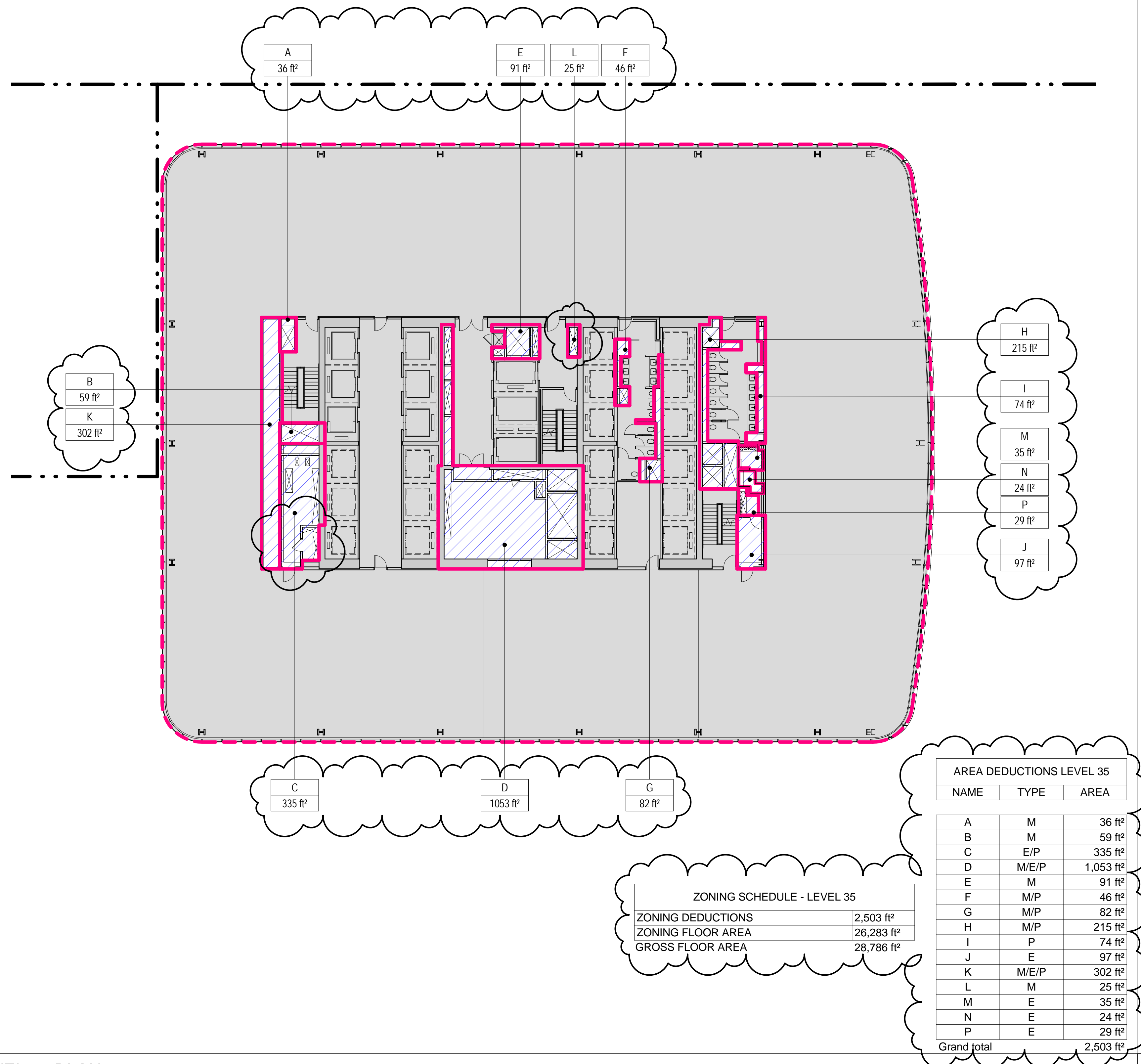
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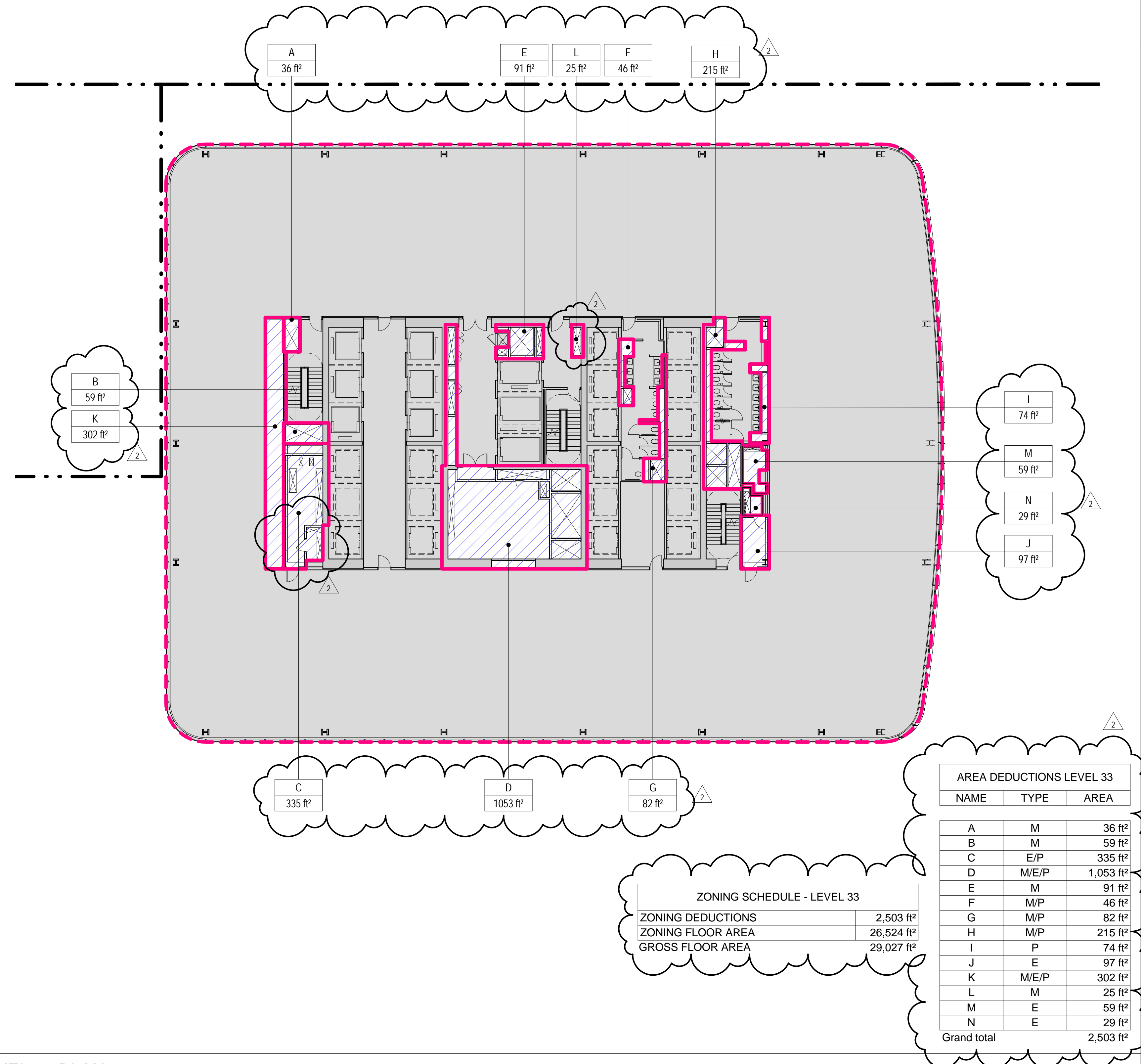


**3 LEVEL 35 PLAN**

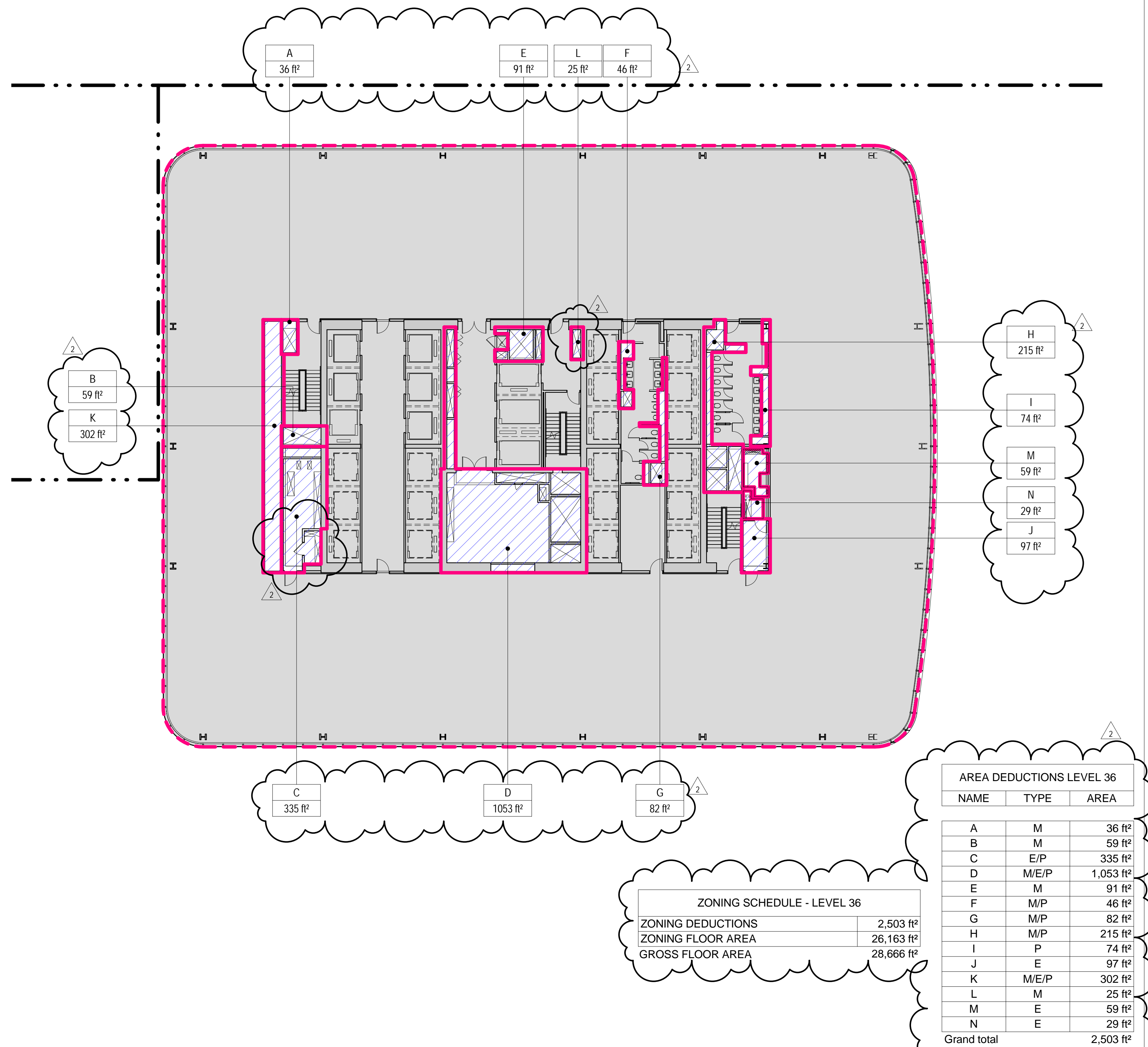
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**1 LEVEL 33 PLAN**

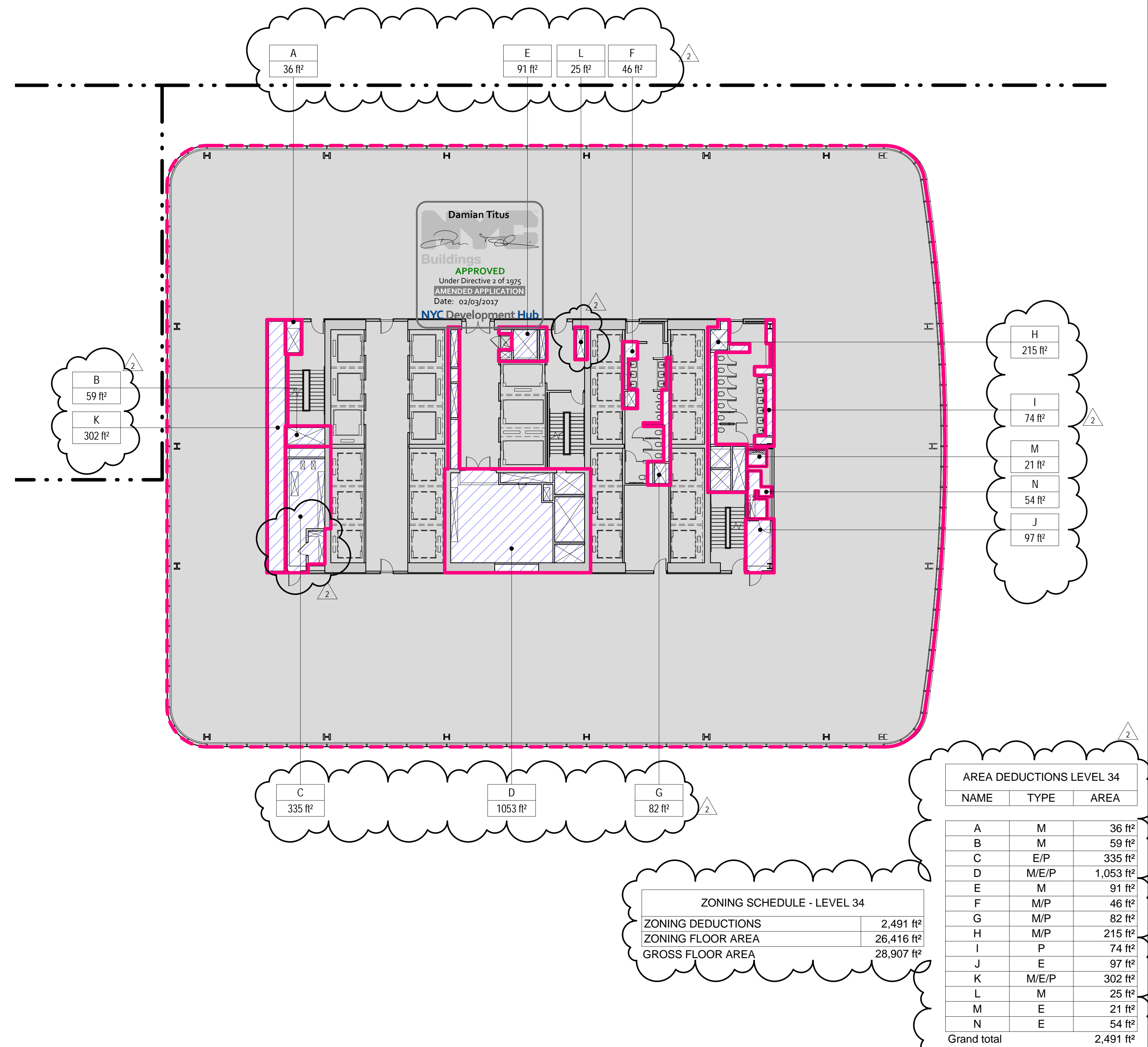
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**4 LEVEL 36 PLAN**

SCALE: 1/16" = 1'-0"

**2 LEVEL 34 PLAN**

SCALE: 1/16" = 1'-0"

**GENERAL NOTES****ZONING LEGENDS**

- GROSS BUILDING AREA
- ZONING AREA DEDUCTIONS
- ZONING FLOOR AREA
- RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL./IT
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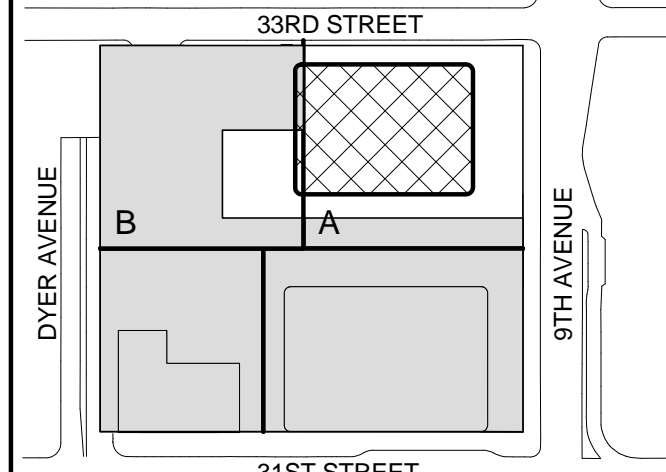
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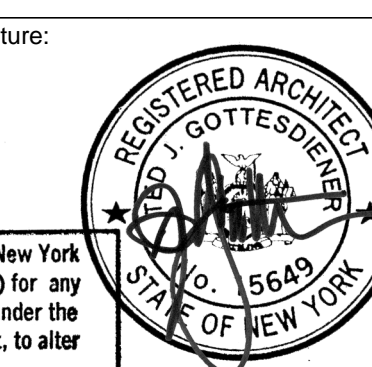
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**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 33-36**

Project No.:

207150

Date:

22 APR 2016

Scale:

1/16" = 1'-0"

File No.:

2-112

B-SCAN Sheet No.:

Z-112.02

Sheet No.:

Z-112

Page No.:

19 OF



ZONING LEGENDS

- GROSS BUILDING AREA
- ZONING AREA DEDUCTIONS
- FLOOR AREA
- RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL/IT
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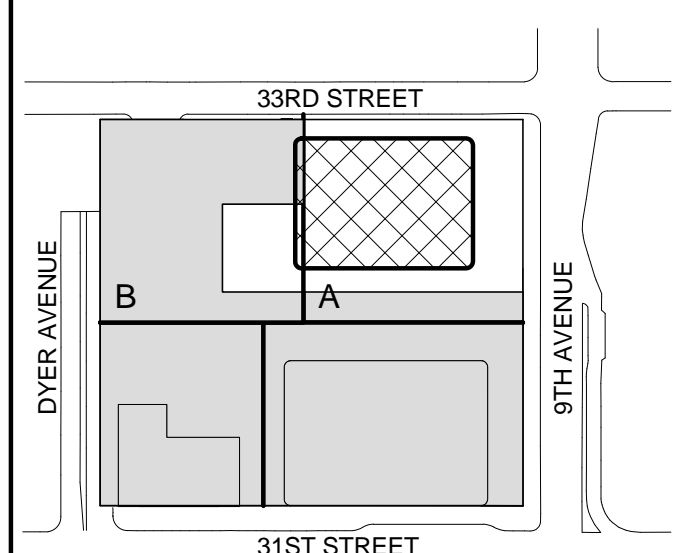
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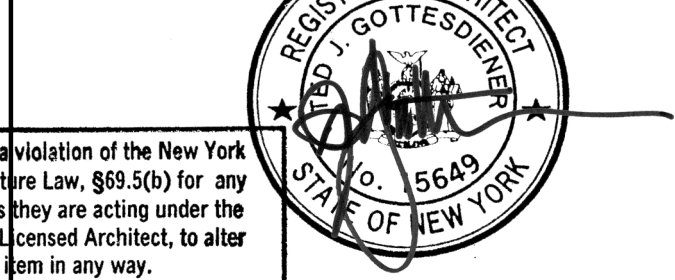
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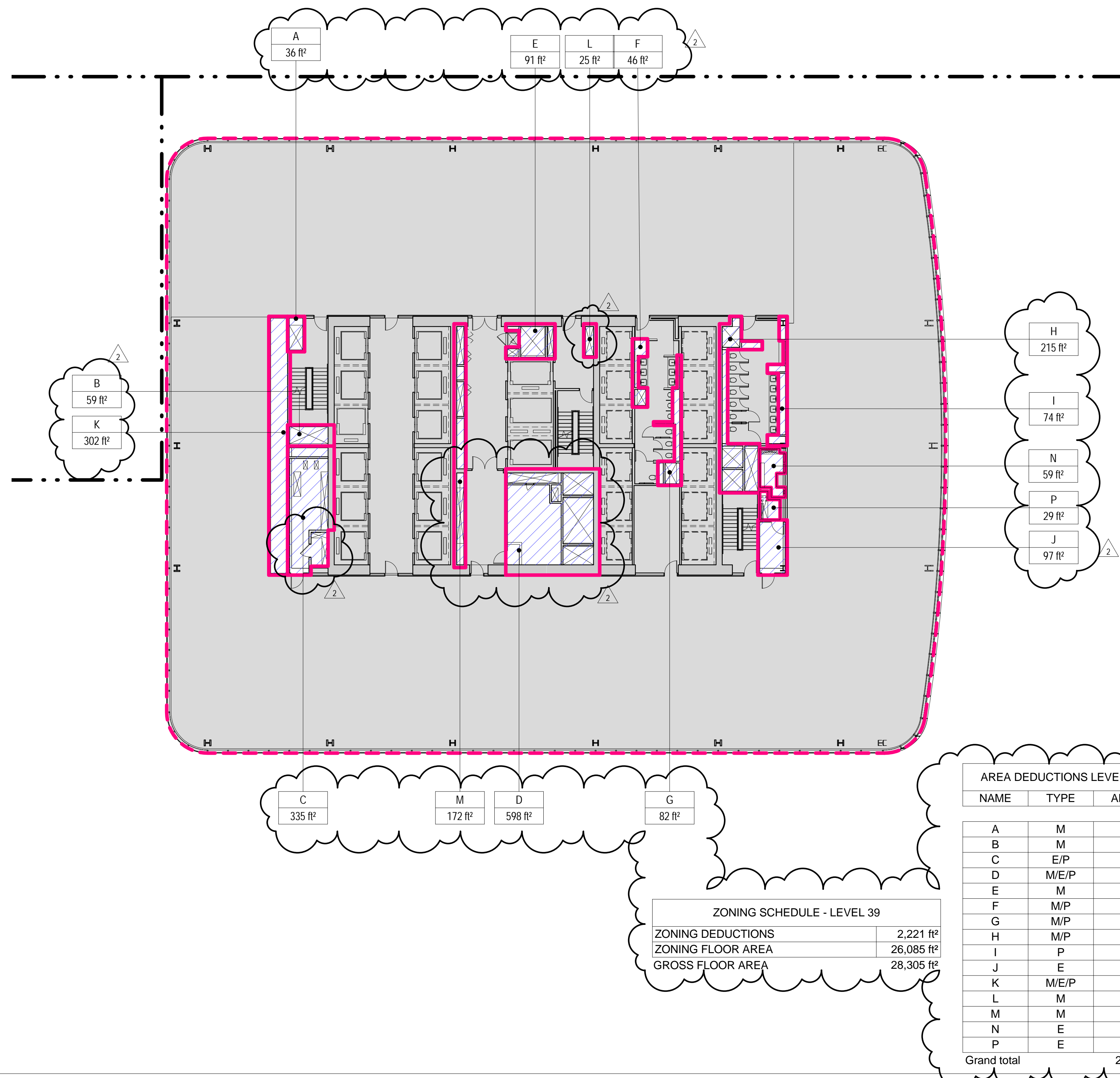
**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 37-40**

Project No.: 207150  
Date: 22 APR 2016  
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File No: 2-113

B-SCAN Sheet No.:  
**Z-113.02**  
Sheet No.:  
Page No.: 20 OF

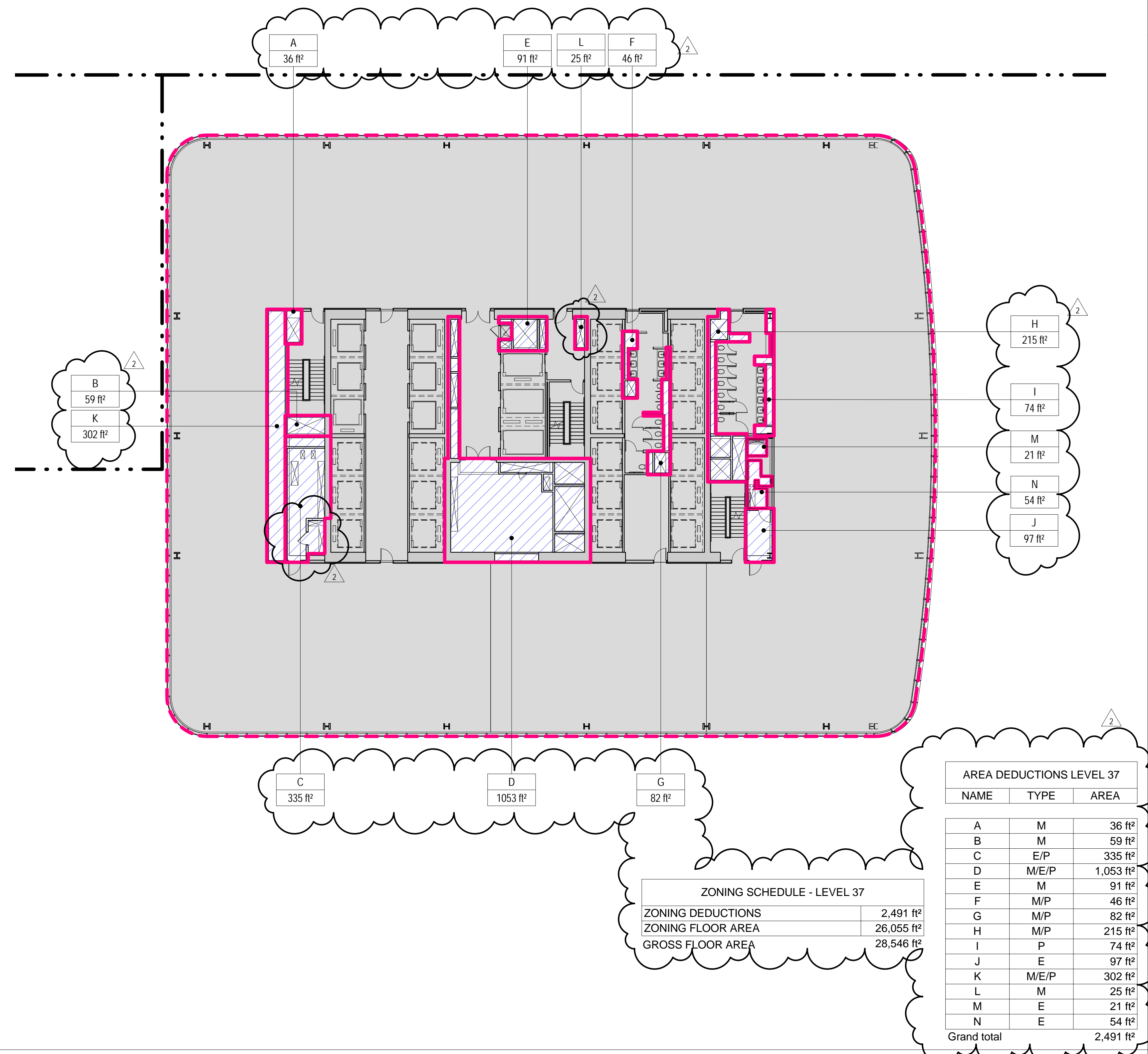
**3 LEVEL 39 PLAN**

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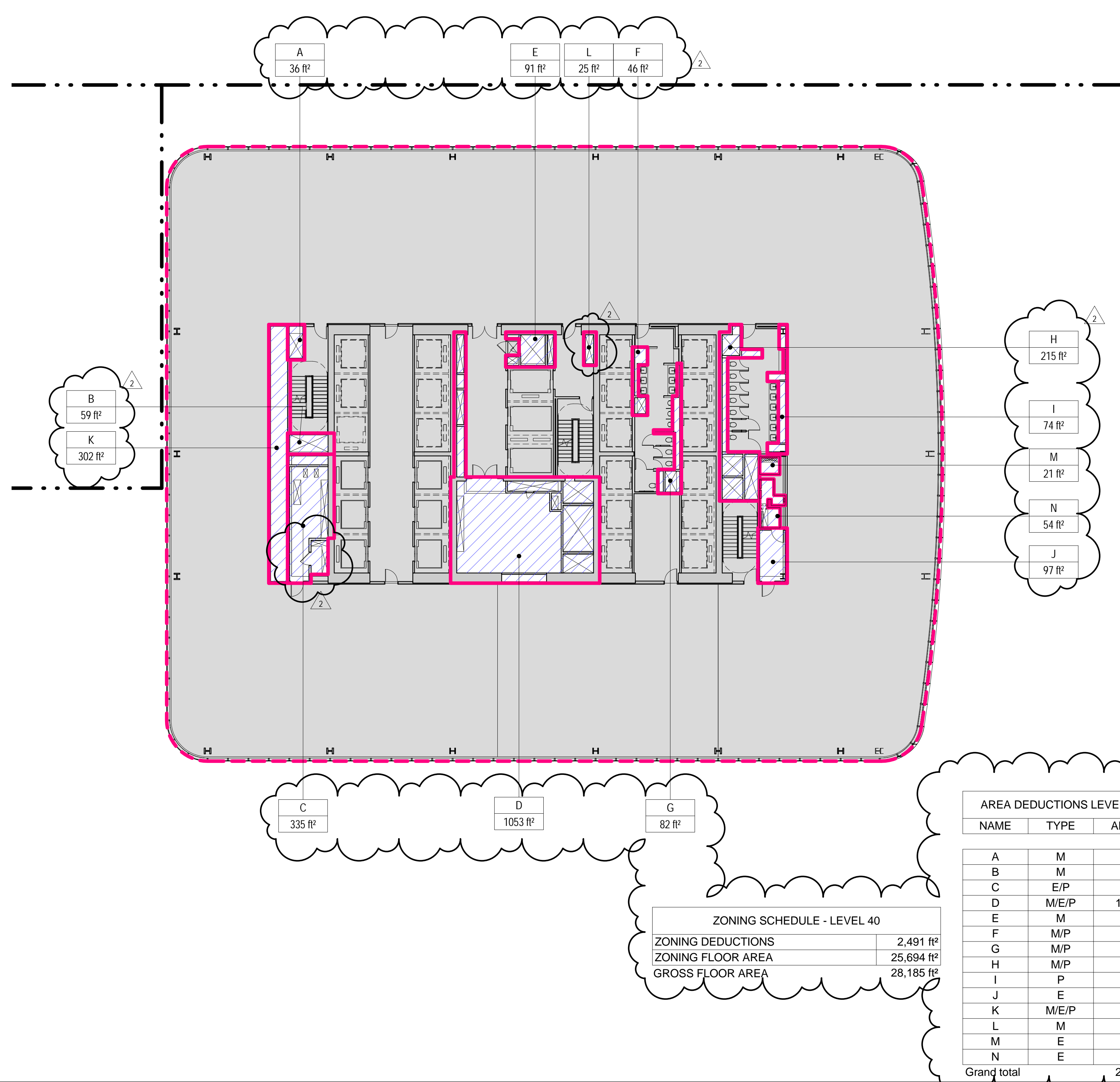
**1 LEVEL 37 PLAN**

SCALE: 1/16" = 1'-0"



**4 LEVEL 40 PLAN**

SCALE: 1/16" = 1'-0"



**2 LEVEL 38 PLAN**

SCALE: 1/16" = 1'-0"





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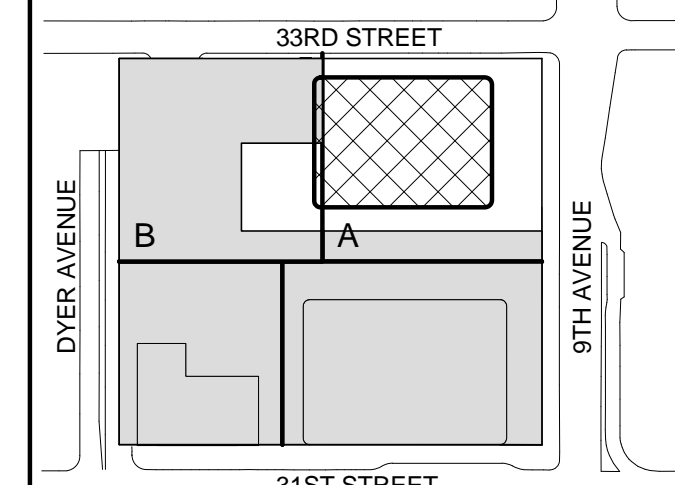
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Key Plan:



Seal & Signature:



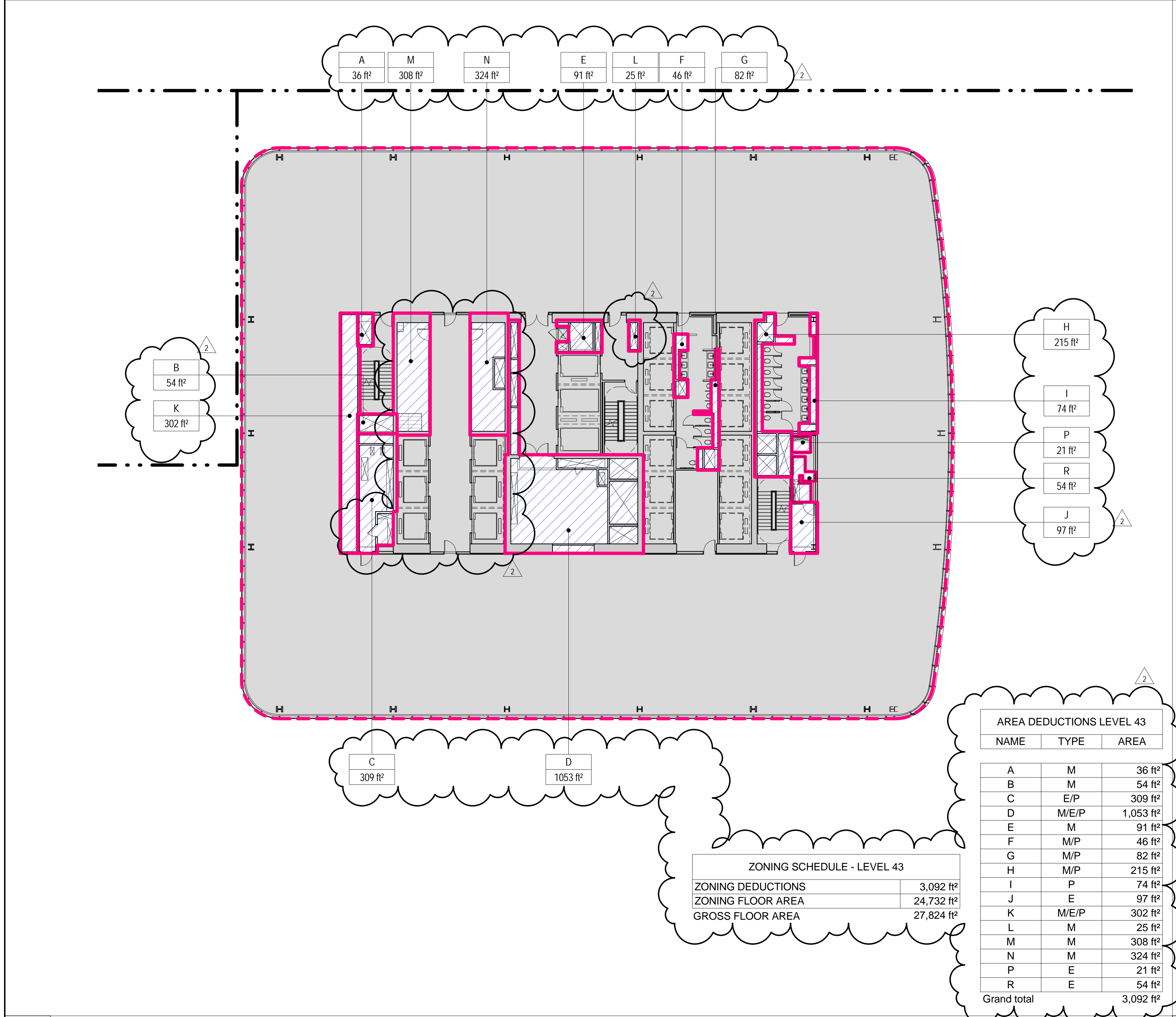
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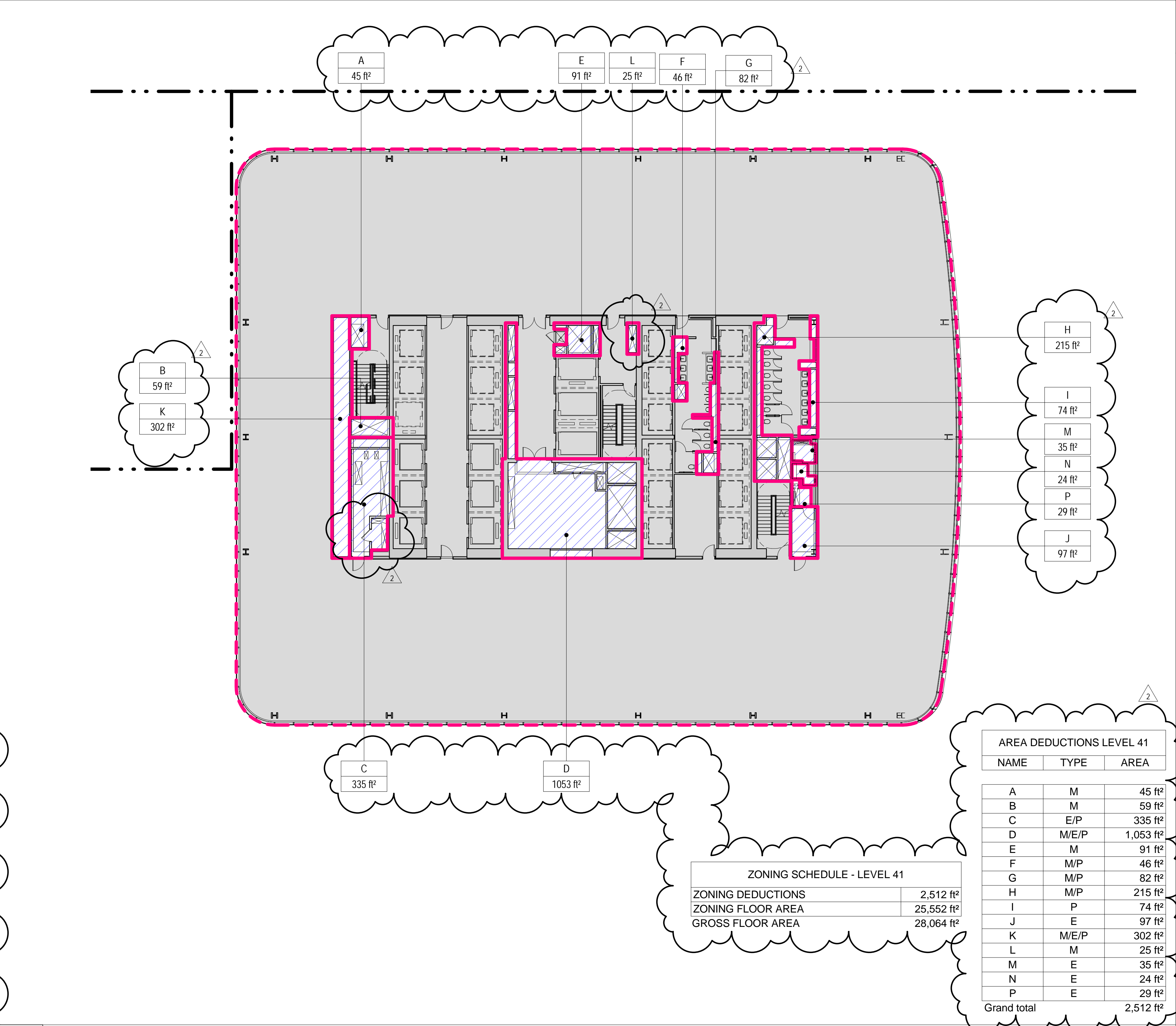
**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 41-44**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/16" = 1'-0"  
File No.: Z-114

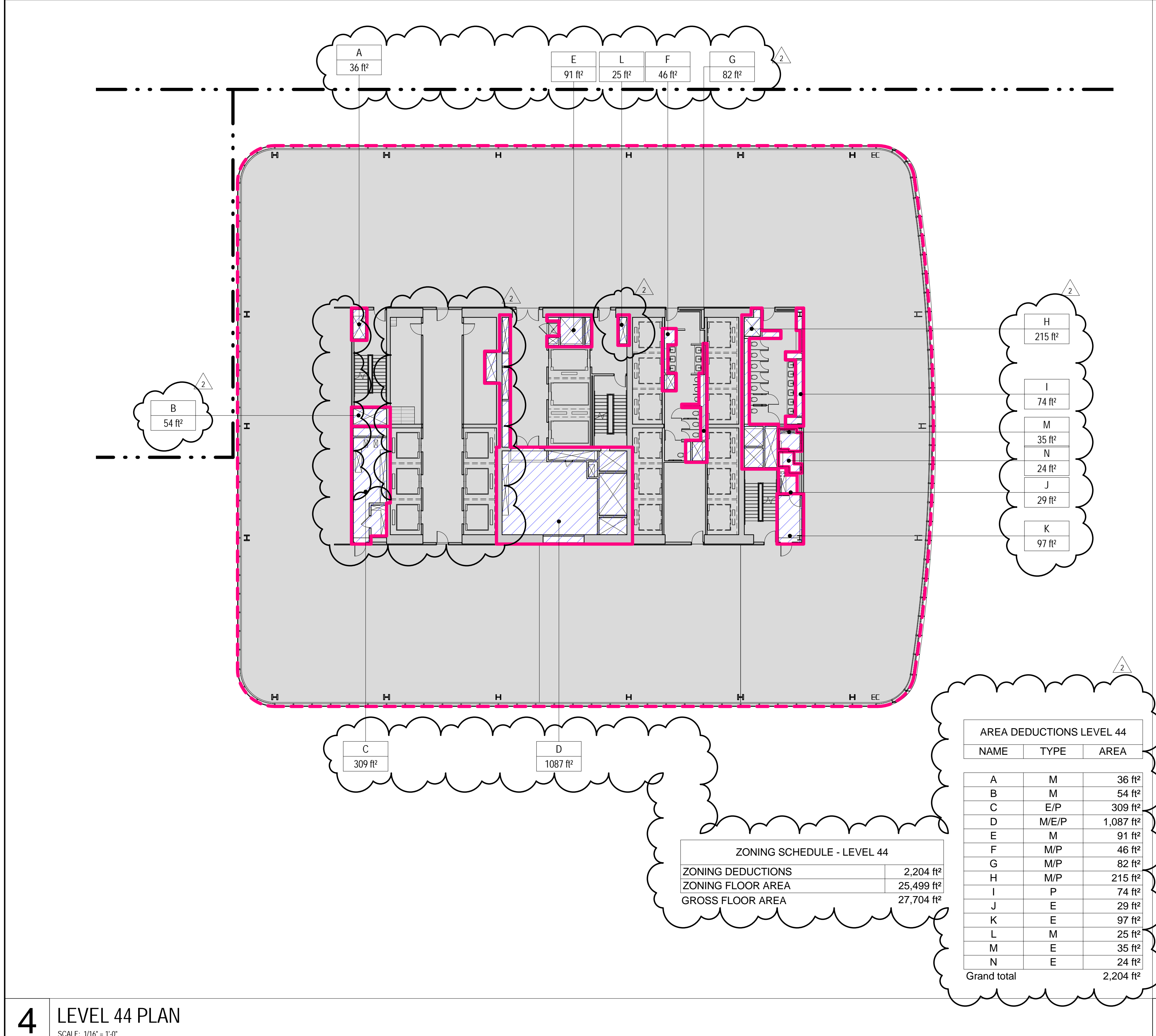
B-SCAN Sheet No.:  
**Z-114.02**  
Sheet No.: 21 OF 21



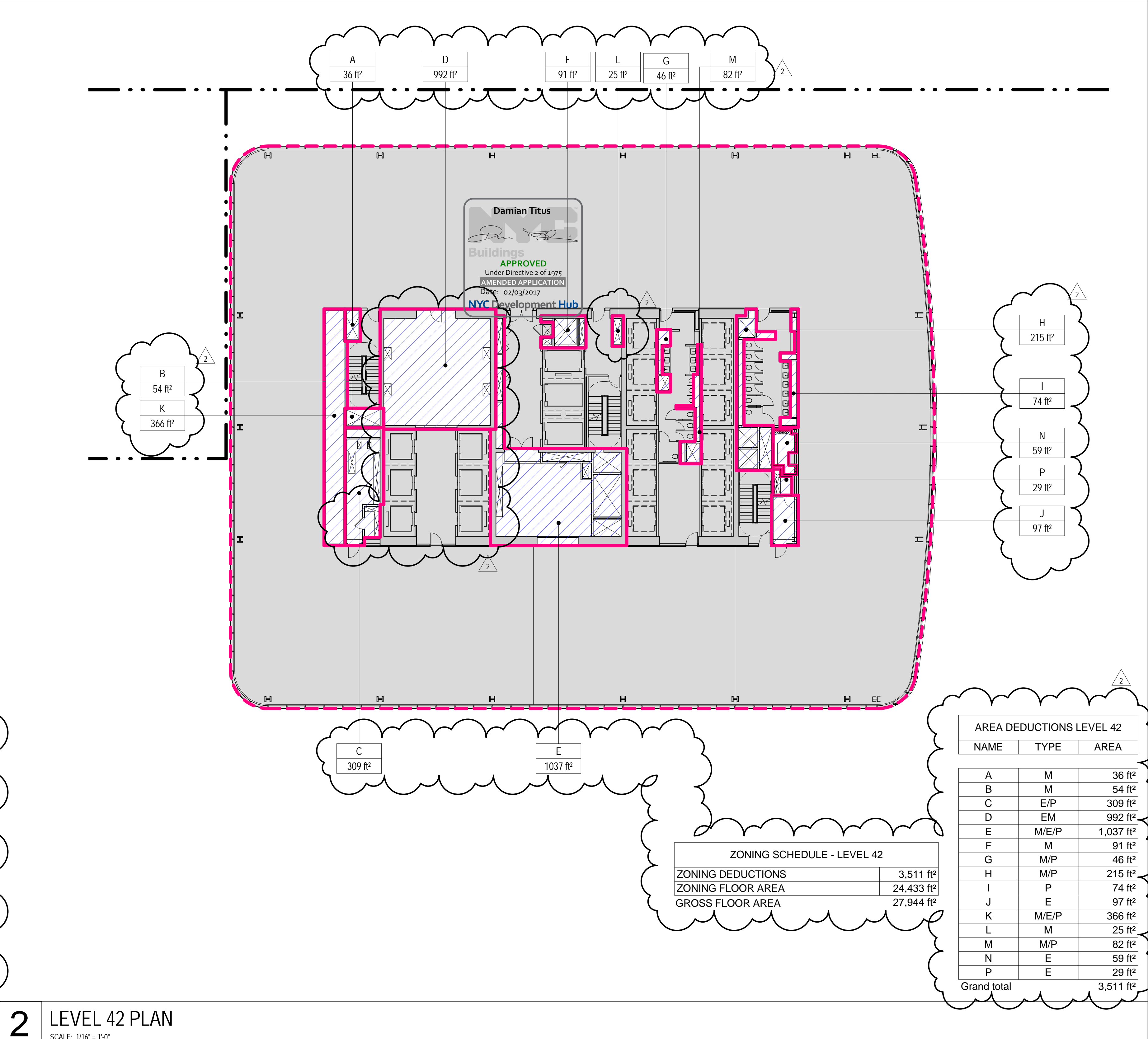
**3 LEVEL 43 PLAN**  
SCALE: 1/16" = 1'-0"



**1 LEVEL 41 PLAN**  
SCALE: 1/16" = 1'-0"



**4 LEVEL 44 PLAN**  
SCALE: 1/16" = 1'-0"


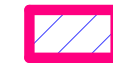




**2 LEVEL 42 PLAN**  
SCALE: 1/16" = 1'-0"



## GENERAL NOTES

## ZONING LEGENDS

-  GROSS BUILDING AREA
-  ZONING AREA DEDUCTIONS
-  ZONING FLOOR AREA
-  RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL/IT
- P PLUMBING
- EM ELEVATOR MACHINE ROOM

MANHATTAN WEST:  
NORTH TOWER

401 Ninth Avenue, New York, NY 10001

Client

**Brookfield**Brookfield Place  
250 Vesey Street, 15th Floor, New York, NY 10021

Architecture/Structural Engineering

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MEP Engineering

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Field Operations  
475 10th Avenue, New York, NY 10018

Security Consultant

Ducibella, Vantor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant

Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

Acoustical Consultant

Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

Vibration Consultant

Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant

Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

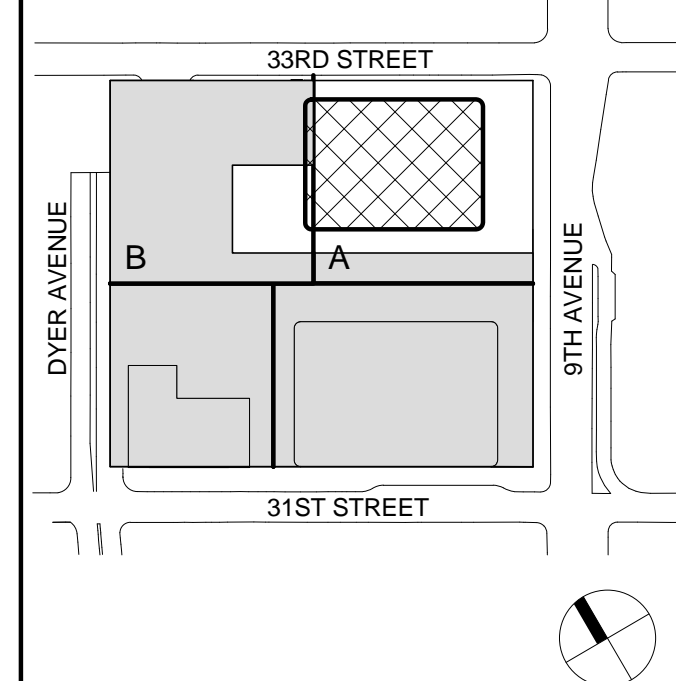
Facade Maintenance Consultant

Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

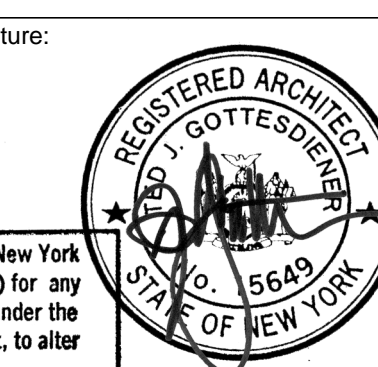
Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:



Seal &amp; Signature:



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No. Date Description

Sheet Name:

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 45-48**

Project No.: 207150 B-SCAN Sheet No.: Z-115.02

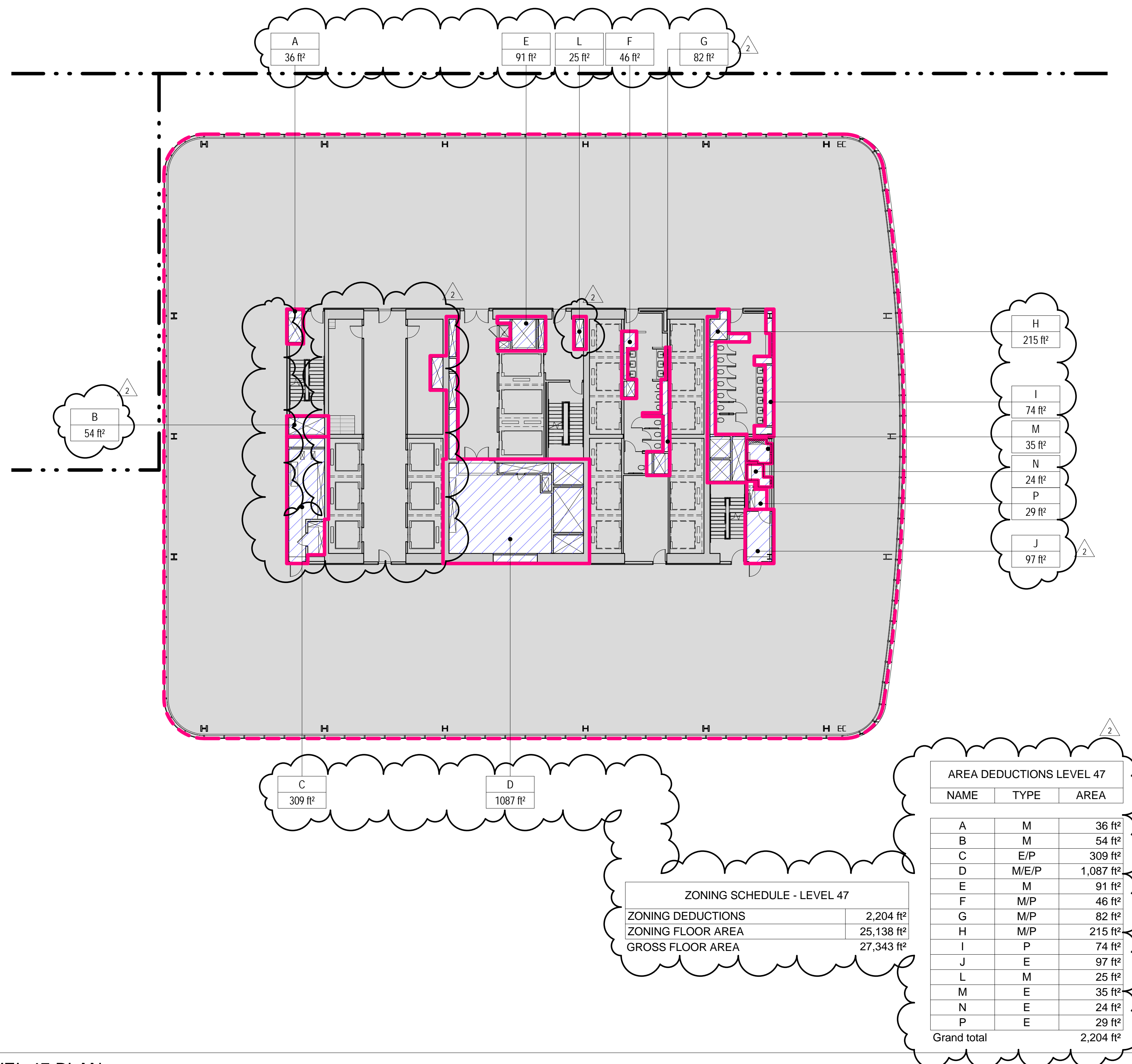
Date: 22 APR 2016 Sheet No.: Z-115

Scale: 1/16" = 1'-0" Page No.: 22 OF

File No.: 2-115

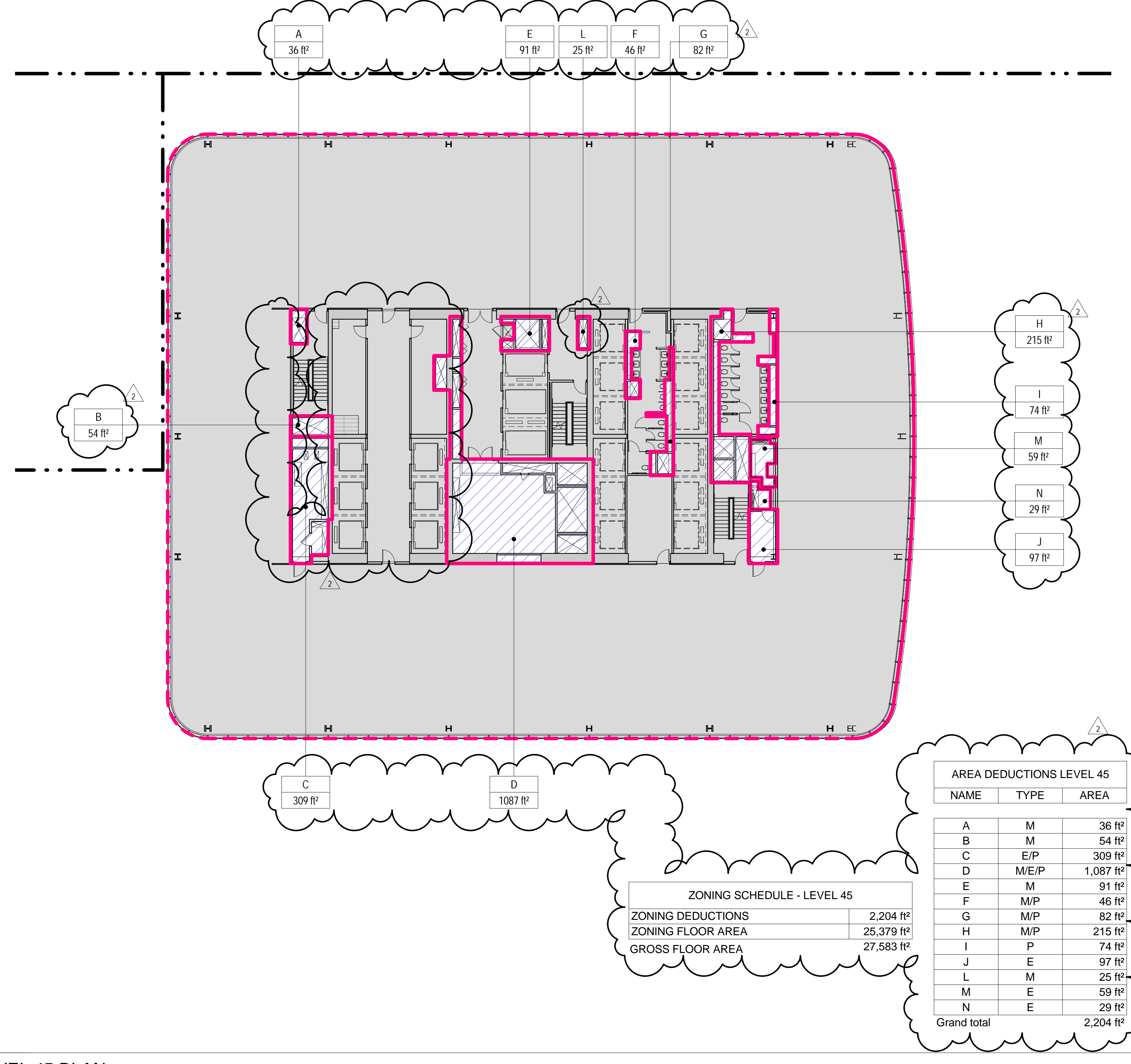
## 3 LEVEL 47 PLAN

SCALE: 1/16" = 1'-0"



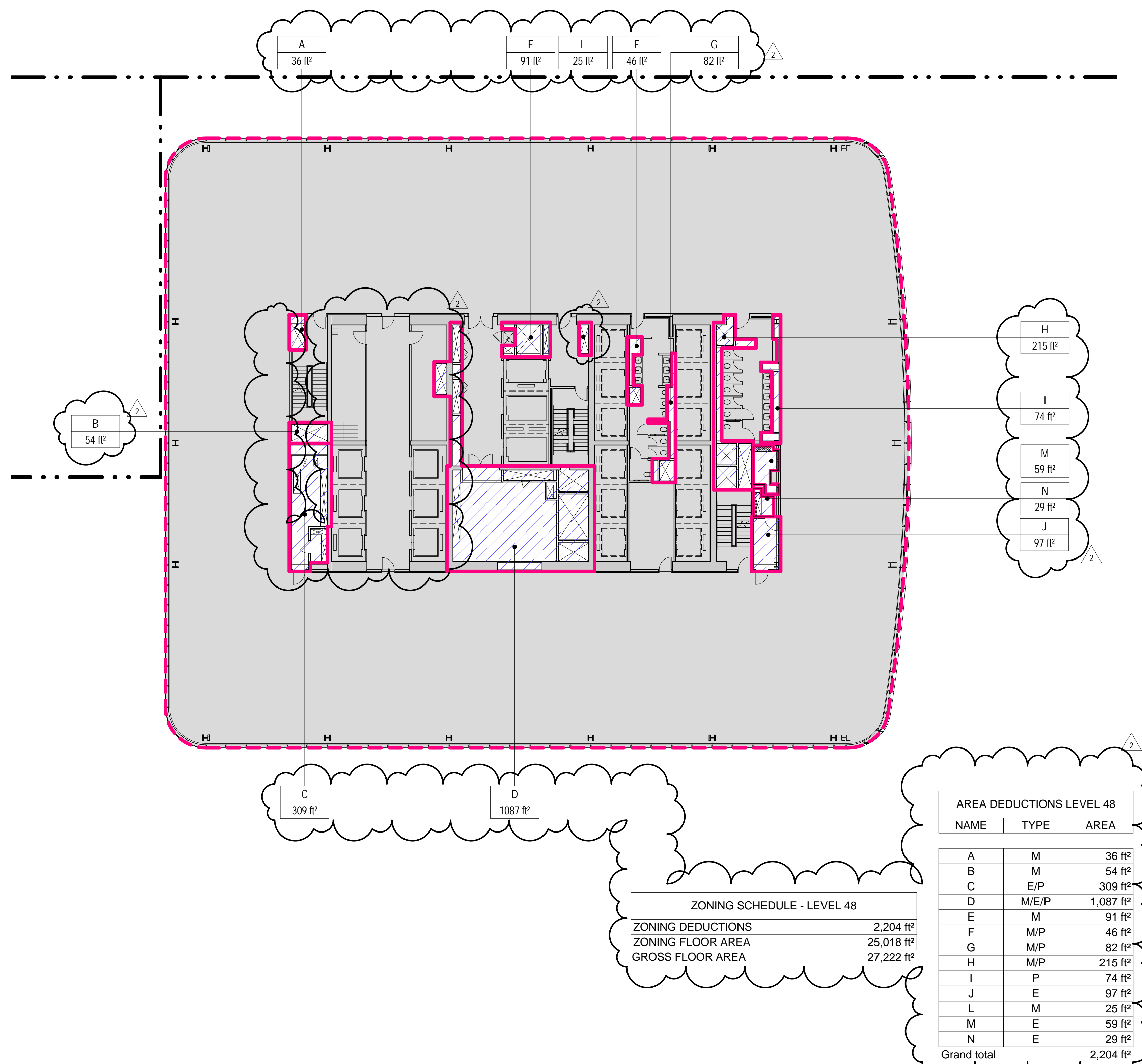
## 1 LEVEL 45 PLAN

SCALE: 1/16" = 1'-0"



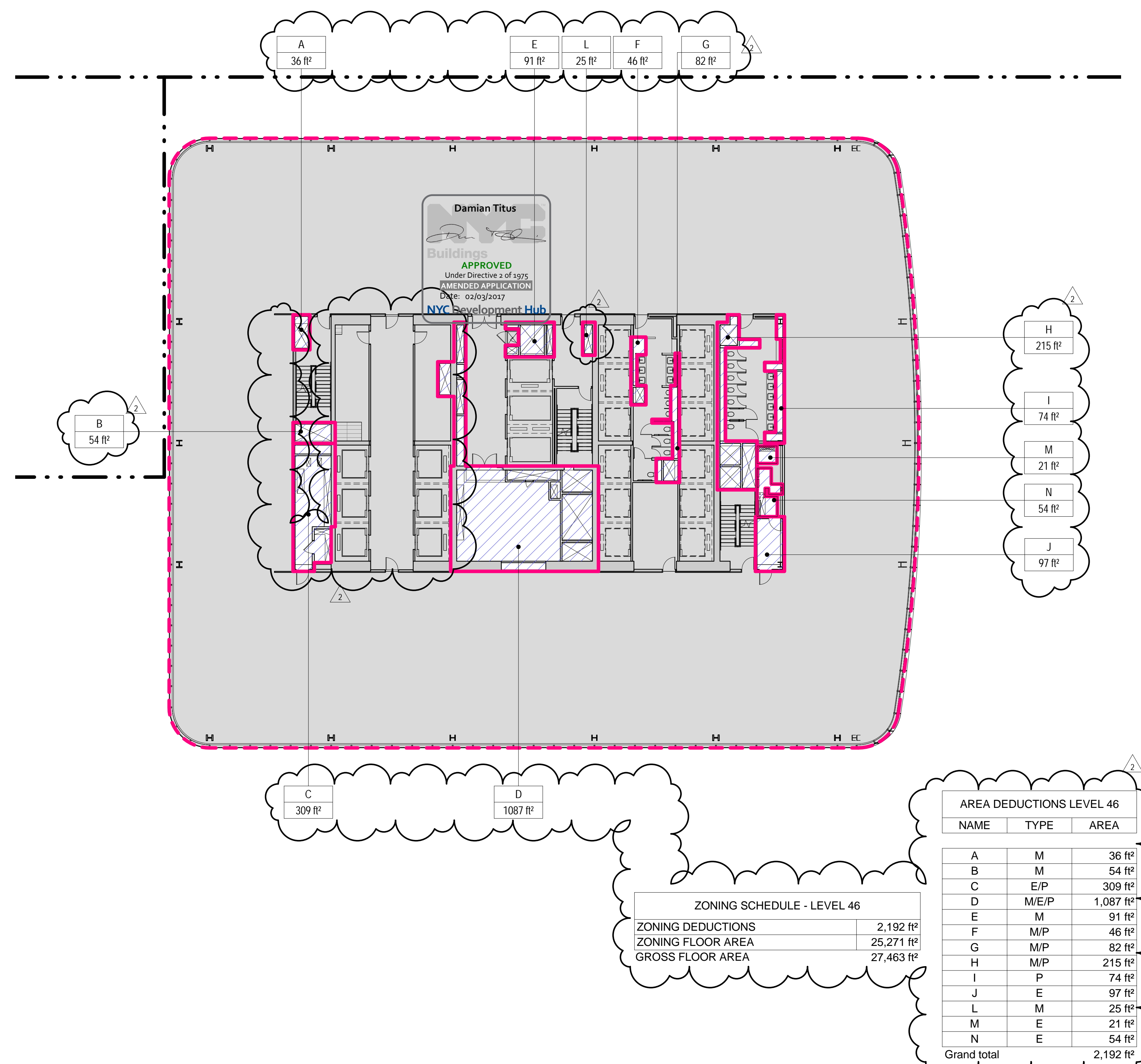
## 4 LEVEL 48 PLAN

SCALE: 1/16" = 1'-0"



## 2 LEVEL 46 PLAN

SCALE: 1/16" = 1'-0"





ZONING LEGENDS

- GROSS BUILDING AREA
- ZONING AREA DEDUCTIONS
- ZONING FLOOR AREA
- RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL./IT
- P PLUMBING
- EM ELEVATOR MACHINE ROOM



**MANHATTAN WEST:  
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Acoustical Consultant  
Cerami & Associates  
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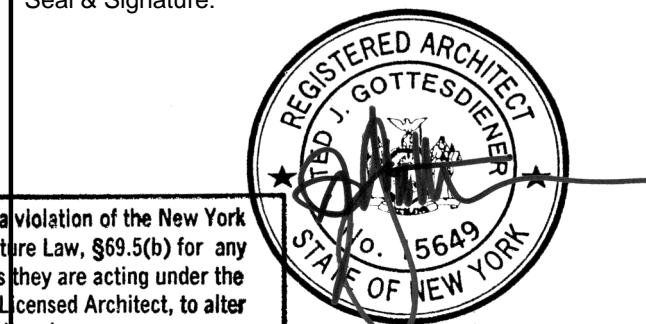
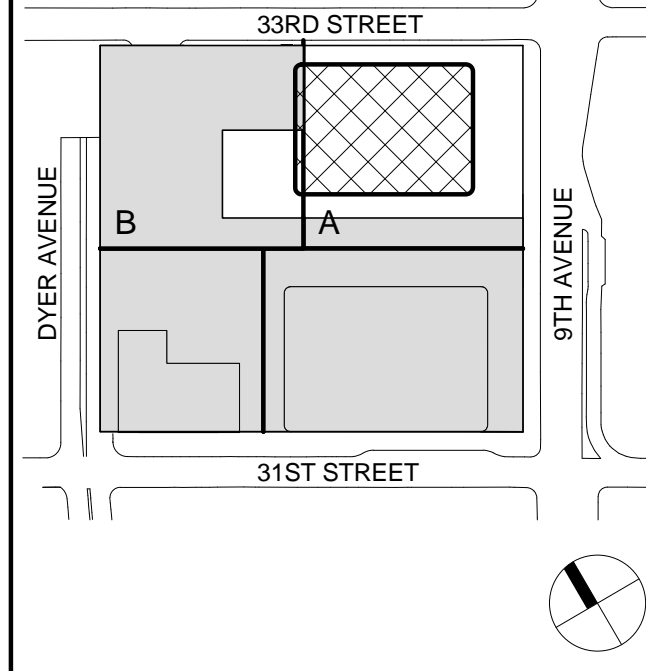
Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B6

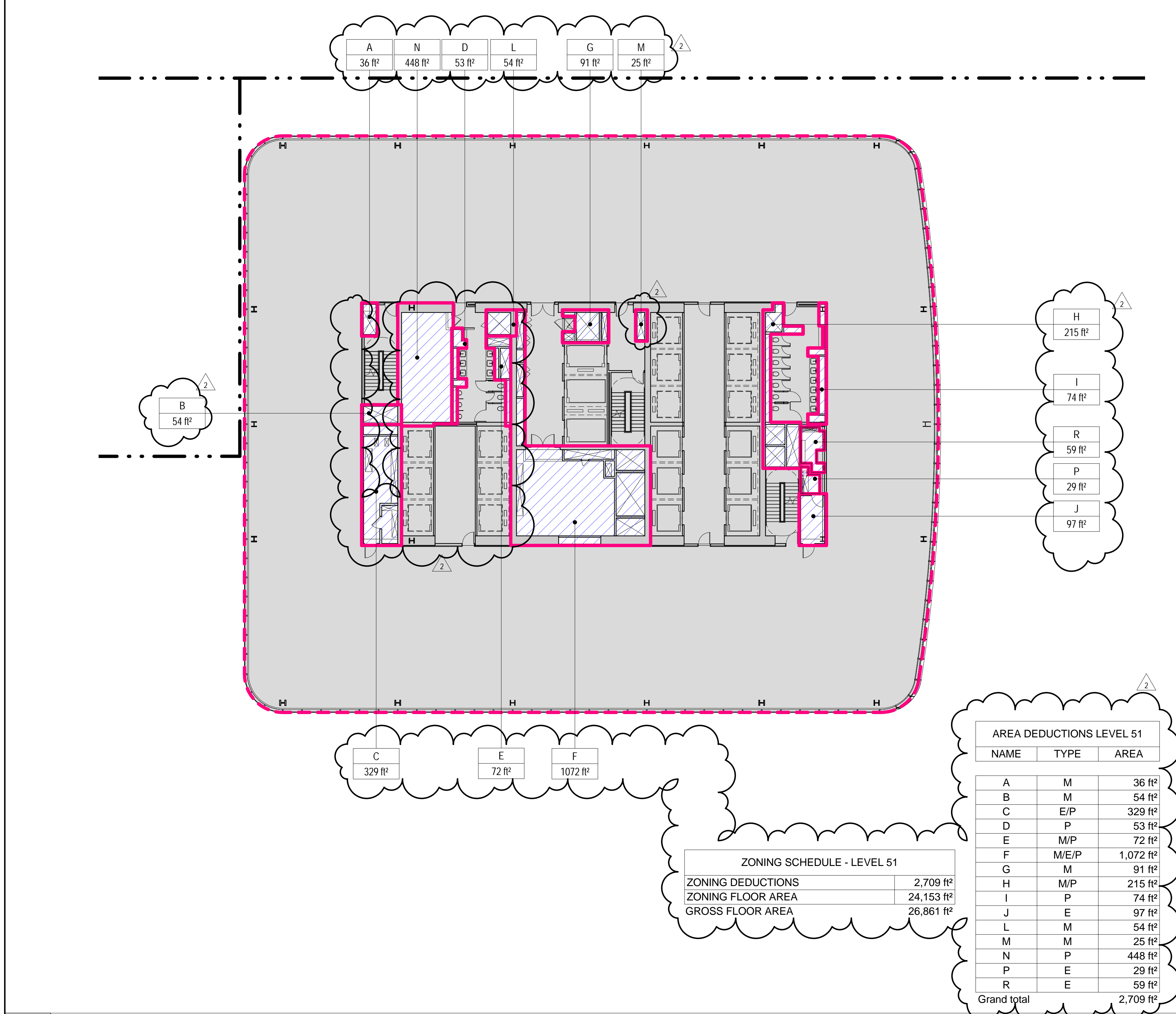
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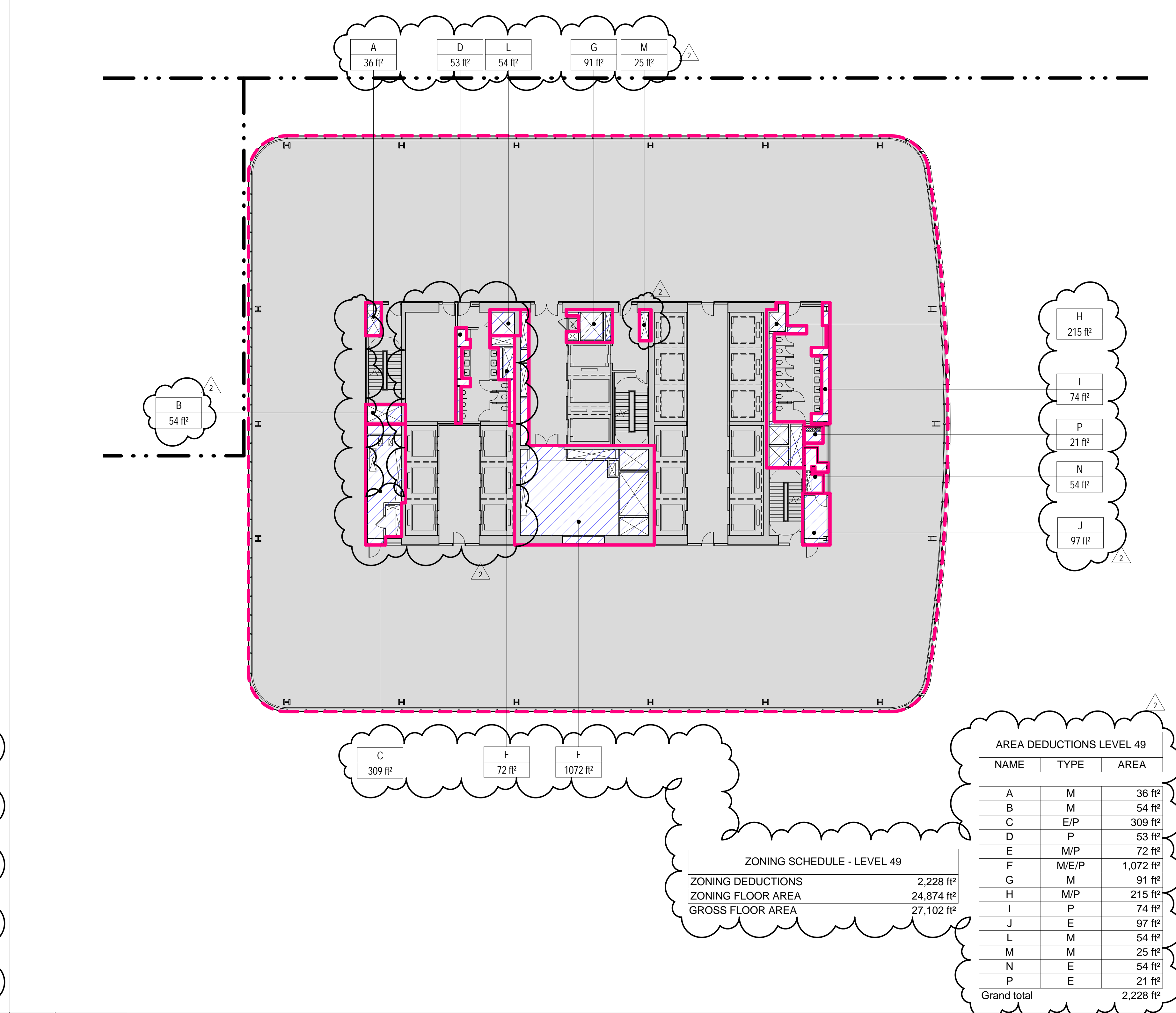
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No.	Date	Description
Sheet Name:		

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 49-52**

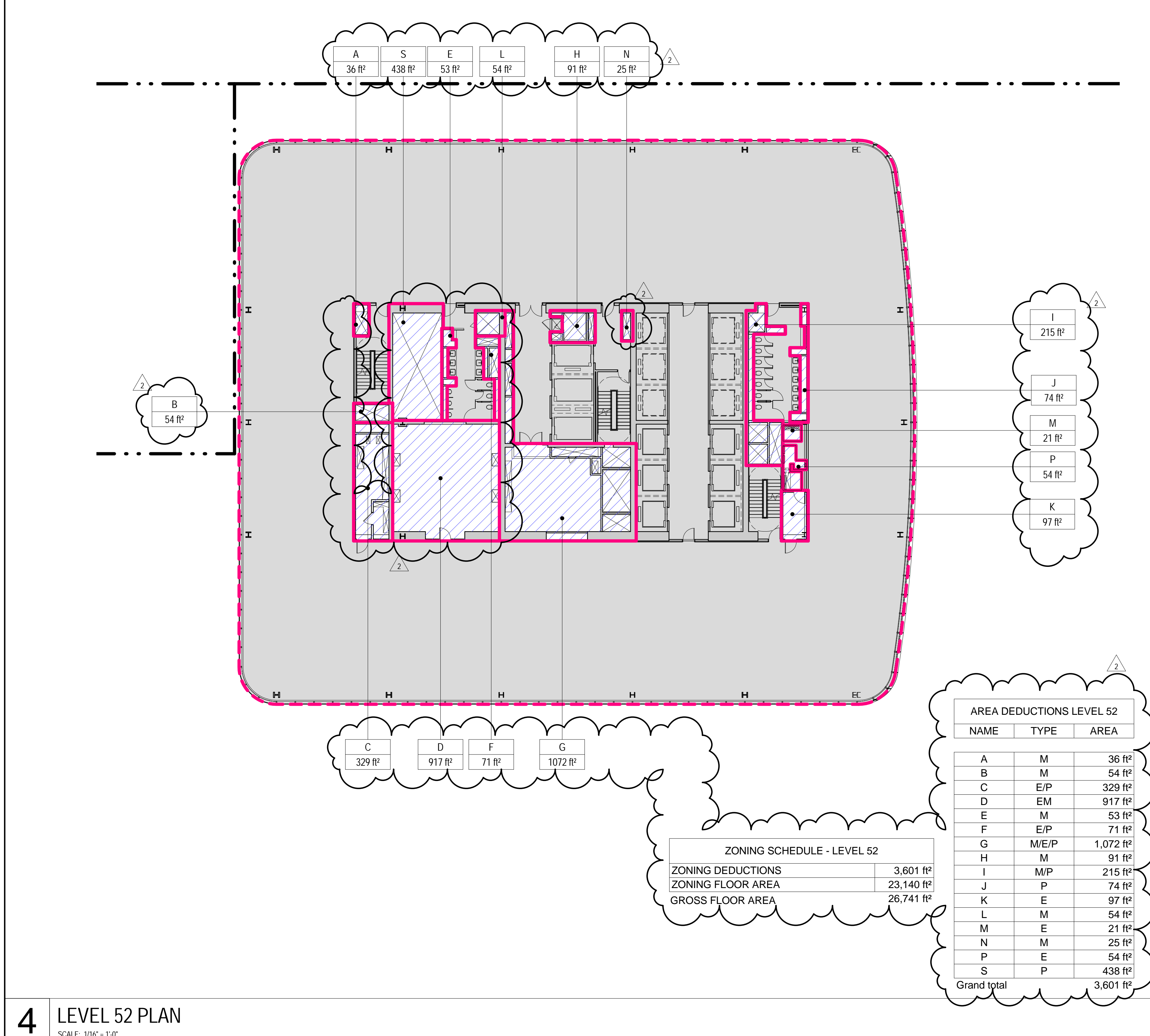
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Date:	22 APR 2016	Sheet No.:	Z-116
Scale:	1/16" = 1'-0"	Page No.:	23 OF
File No.:	Z-116		



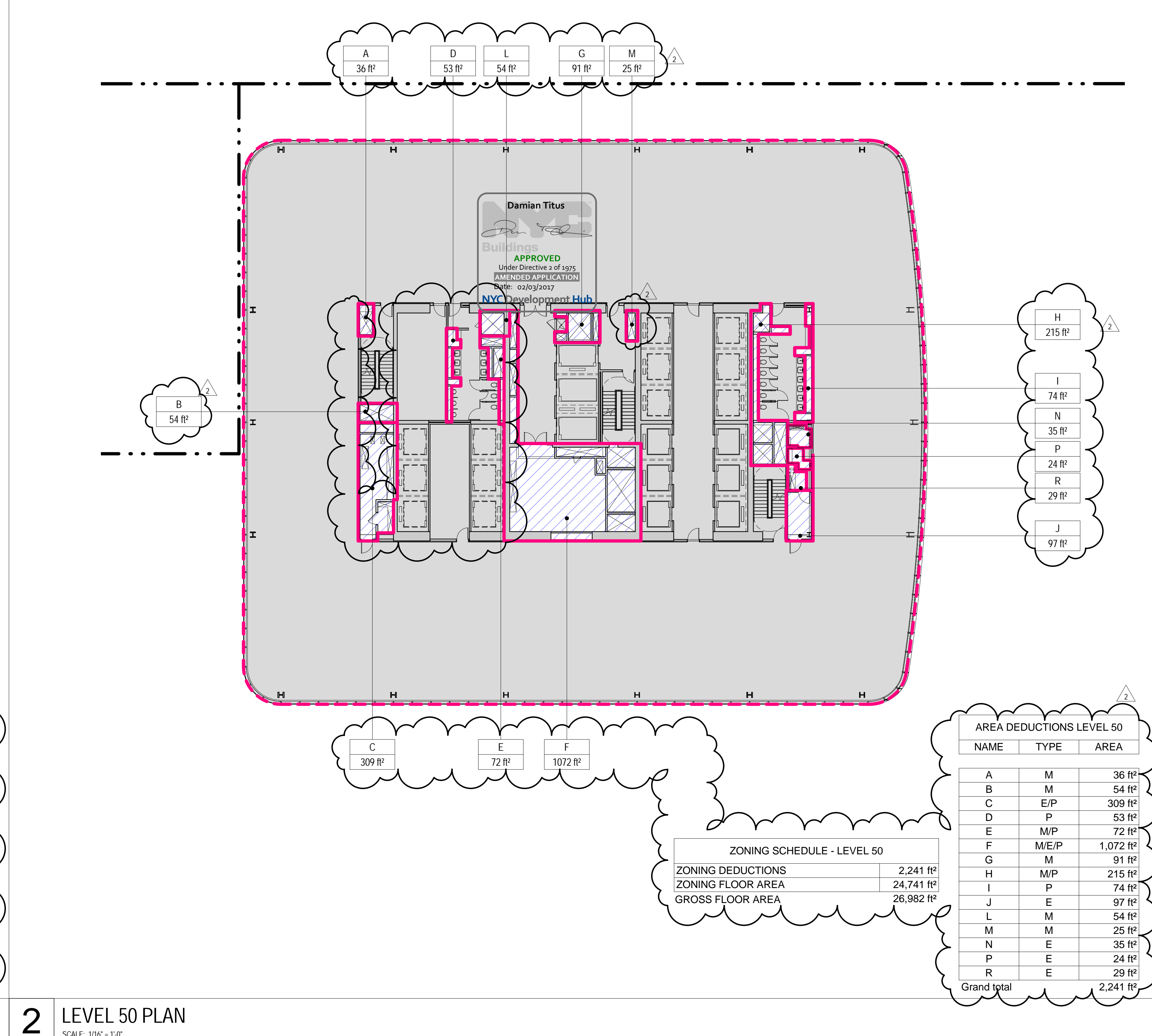
**3 LEVEL 51 PLAN**  
SCALE: 1/16" = 1'-0"



**1 LEVEL 49 PLAN**  
SCALE: 1/16" = 1'-0"



**4 LEVEL 52 PLAN**  
SCALE: 1/16" = 1'-0"







**2 LEVEL 50 PLAN**  
SCALE: 1/16" = 1'-0"



## GENERAL NOTES

## ZONING LEGENDS

-  GROSS BUILDING AREA  
 ZONING AREA DEDUCTIONS  
 ZONING FLOOR AREA  
 RETAIL
- MR MECHANICAL ROOM  
M MECHANICAL  
E ELECTRICAL/TEL./IT  
P PLUMBING  
EM ELEVATOR MACHINE ROOM



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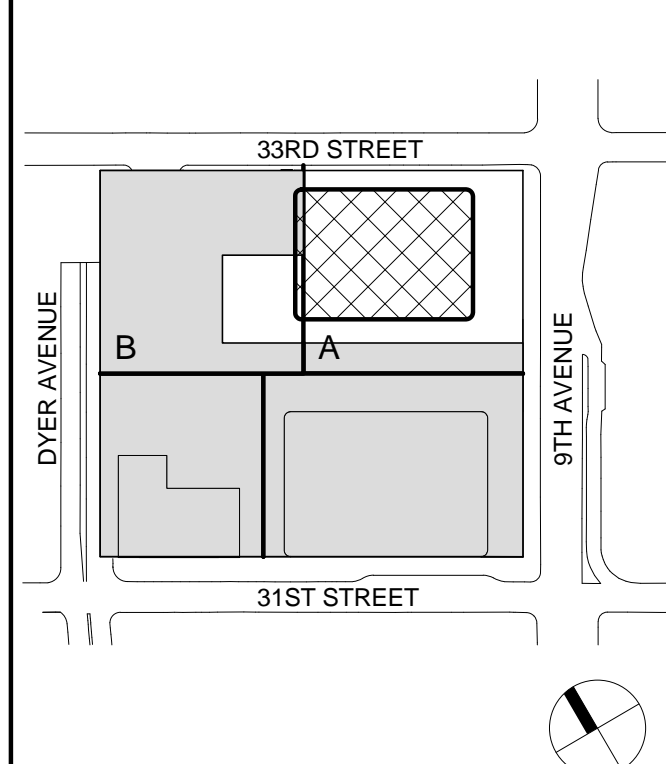
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1	07 OCT 2015	ISSUED FOR BUILDING PERMIT
Sheet Name: _____		

**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 53-56**

Project No.:

207150

Date:

22 APR 2016

Scale:

1/16" = 1'-0"

File No.:

2-117

B-SCAN Sheet No.:

Z-117.02

Sheet No.:

Z-117

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**LEVEL 55 PLAN**

SCALE: 1/16" = 1'-0"

1

**LEVEL 53 PLAN**

SCALE: 1/16" = 1'-0"

4

**LEVEL 56 PLAN**

SCALE: 1/16" = 1'-0"

2

**LEVEL 54 PLAN**

SCALE: 1/16" = 1'-0"

AREA DEDUCTIONS LEVEL 55		
NAME	TYPE	AREA
A	M	34 ft <sup>2</sup>
B	M	51 ft <sup>2</sup>
C	E/P	286 ft <sup>2</sup>
D	M	53 ft <sup>2</sup>
E	M/P	467 ft <sup>2</sup>
F	P	87 ft <sup>2</sup>
G	M/P	180 ft <sup>2</sup>
H	M/E/P	1,024 ft <sup>2</sup>
I	M	91 ft <sup>2</sup>
J	M/E	44 ft <sup>2</sup>
L	M	51 ft <sup>2</sup>
M	M	25 ft <sup>2</sup>
N	M	124 ft <sup>2</sup>
P	E	126 ft <sup>2</sup>
Q	E	3 ft <sup>2</sup>
R	E	9 ft <sup>2</sup>
S	E	20 ft <sup>2</sup>
Grand total		2,674 ft <sup>2</sup>

ZONING SCHEDULE - LEVEL 55	
ZONING DEDUCTIONS	2,674 ft <sup>2</sup>
ZONING FLOOR AREA	23,706 ft <sup>2</sup>
GROSS FLOOR AREA	26,380 ft <sup>2</sup>

ZONING SCHEDULE - LEVEL 53	
ZONING DEDUCTIONS	3,103 ft <sup>2</sup>
ZONING FLOOR AREA	23,517 ft <sup>2</sup>
GROSS FLOOR AREA	26,621 ft <sup>2</sup>

AREA DEDUCTIONS LEVEL 53		
NAME	TYPE	AREA
A	M	34 ft <sup>2</sup>
B	M	49 ft <sup>2</sup>
C	E/P	286 ft <sup>2</sup>
D	M/P	905 ft <sup>2</sup>
E	P	78 ft <sup>2</sup>
F	M/P	203 ft <sup>2</sup>
G	M/E/P	1,027 ft <sup>2</sup>
H	M	91 ft <sup>2</sup>
I	M/E	44 ft <sup>2</sup>
J	M	124 ft <sup>2</sup>
L	M	54 ft <sup>2</sup>
M	M	25 ft <sup>2</sup>
N	E	29 ft <sup>2</sup>
P	E	27 ft <sup>2</sup>
R	E	126 ft <sup>2</sup>
Grand total		3,103 ft <sup>2</sup>

AREA DEDUCTIONS LEVEL 56		
NAME	TYPE	AREA
A	M	35 ft <sup>2</sup>
B	M	58 ft <sup>2</sup>
C	E/P	292 ft <sup>2</sup>
D	P	98 ft <sup>2</sup>
E	M/P	180 ft <sup>2</sup>
F	M/E/P	1,027 ft <sup>2</sup>
G	M	91 ft <sup>2</sup>
H	M/E	41 ft <sup>2</sup>
I	M	118 ft <sup>2</sup>
K	M	25 ft <sup>2</sup>
L	M	51 ft <sup>2</sup>
M	E	56 ft <sup>2</sup>
N	E	121 ft <sup>2</sup>
Grand total		2,191 ft <sup>2</sup>

ZONING SCHEDULE - LEVEL 56	
ZONING DEDUCTIONS	2,191 ft <sup>2</sup>
ZONING FLOOR AREA	24,068 ft <sup>2</sup>
GROSS FLOOR AREA	26,260 ft <sup>2</sup>





ZONING SCHEDULE - LEVEL 54	
ZONING DEDUCTIONS	3,104 ft <sup>2</sup>
ZONING FLOOR AREA	23,396 ft <sup>2</sup>
GROSS FLOOR AREA	26,500 ft <sup>2</sup>

AREA DEDUCTIONS LEVEL 54		
NAME	TYPE	AREA
A	M	34 ft <sup>2</sup>
B	M	53 ft <sup>2</sup>
C	E/P	282 ft <sup>2</sup>
D	M/P	905 ft <sup>2</sup>
E	P	78 ft <sup>2</sup>
F	M/P	203 ft <sup>2</sup>
G	M/E/P	1,027 ft <sup>2</sup>
H	M	91 ft <sup>2</sup>
I	M	124 ft <sup>2</sup>
K	M/E	44 ft <sup>2</sup>
M	M	54 ft <sup>2</sup>
N	M	25 ft <sup>2</sup>
P	E	20 ft <sup>2</sup>
Q	E	9 ft <sup>2</sup>
R	E	28 ft <sup>2</sup>
S	E	126 ft <sup>2</sup>
Grand total		3,104 ft <sup>2</sup>



## GENERAL NOTES

## ZONING LEGENDS

-  GROSS BUILDING AREA
-  ZONING AREA DEDUCTIONS
-  ZONING FLOOR AREA
-  RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL/IT
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MANHATTAN WEST:  
NORTH TOWER

401 Ninth Avenue, New York, NY 10001

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Code Consultants Professional Engineers PC  
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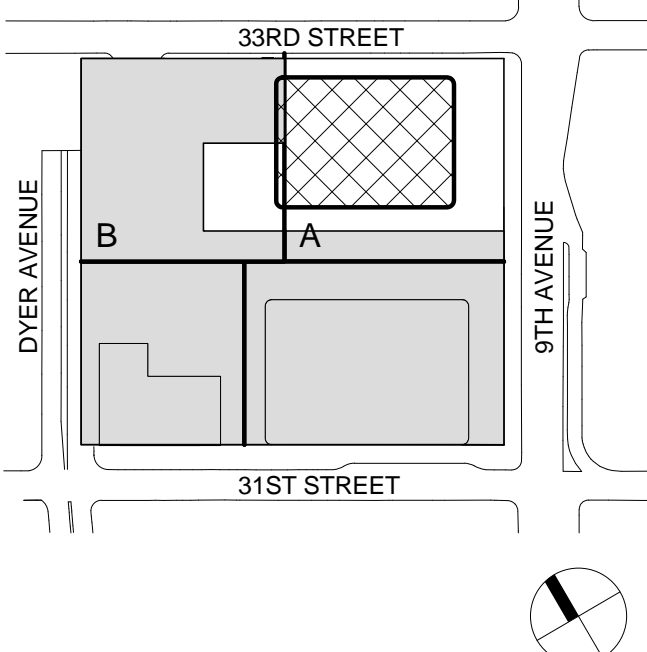
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650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

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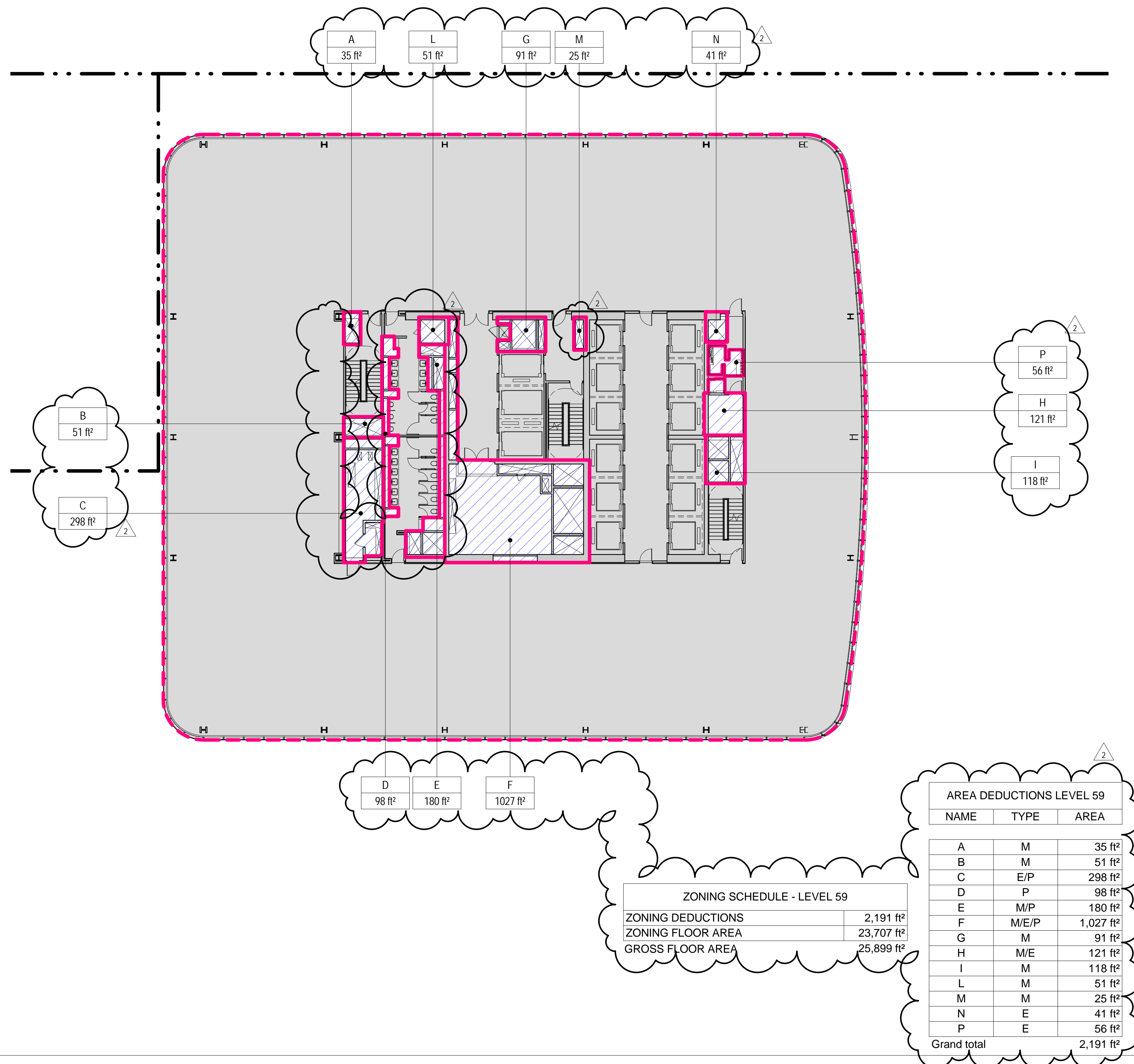
**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 57-60**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/16" = 1'-0"  
File No: 2-118

B-SCAN Sheet No.:  
**Z-118.02**  
Sheet No.:  
Z-118  
Page No.: 25 OF

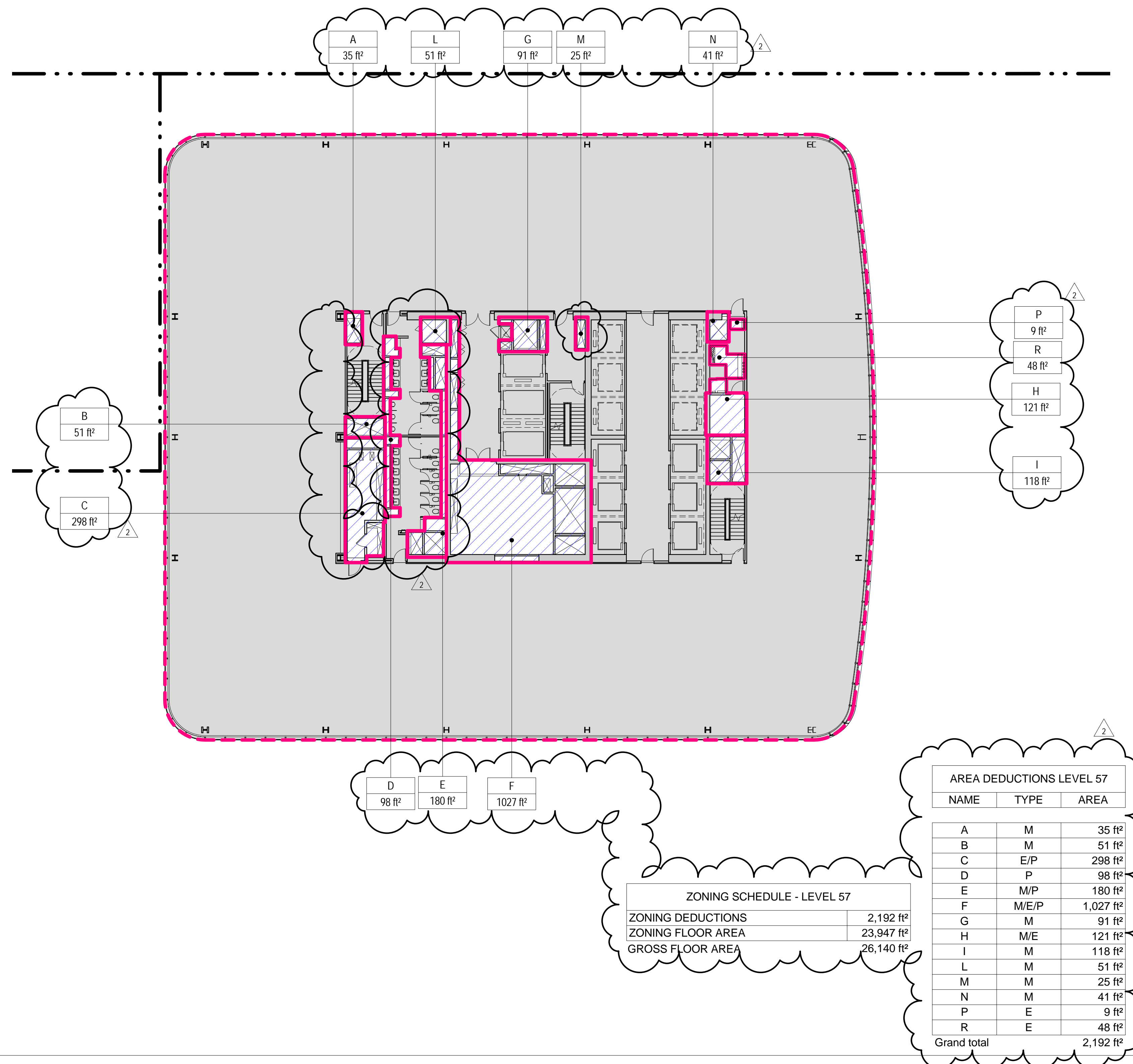
## 3 LEVEL 59 PLAN

SCALE: 1/16" = 1'-0"



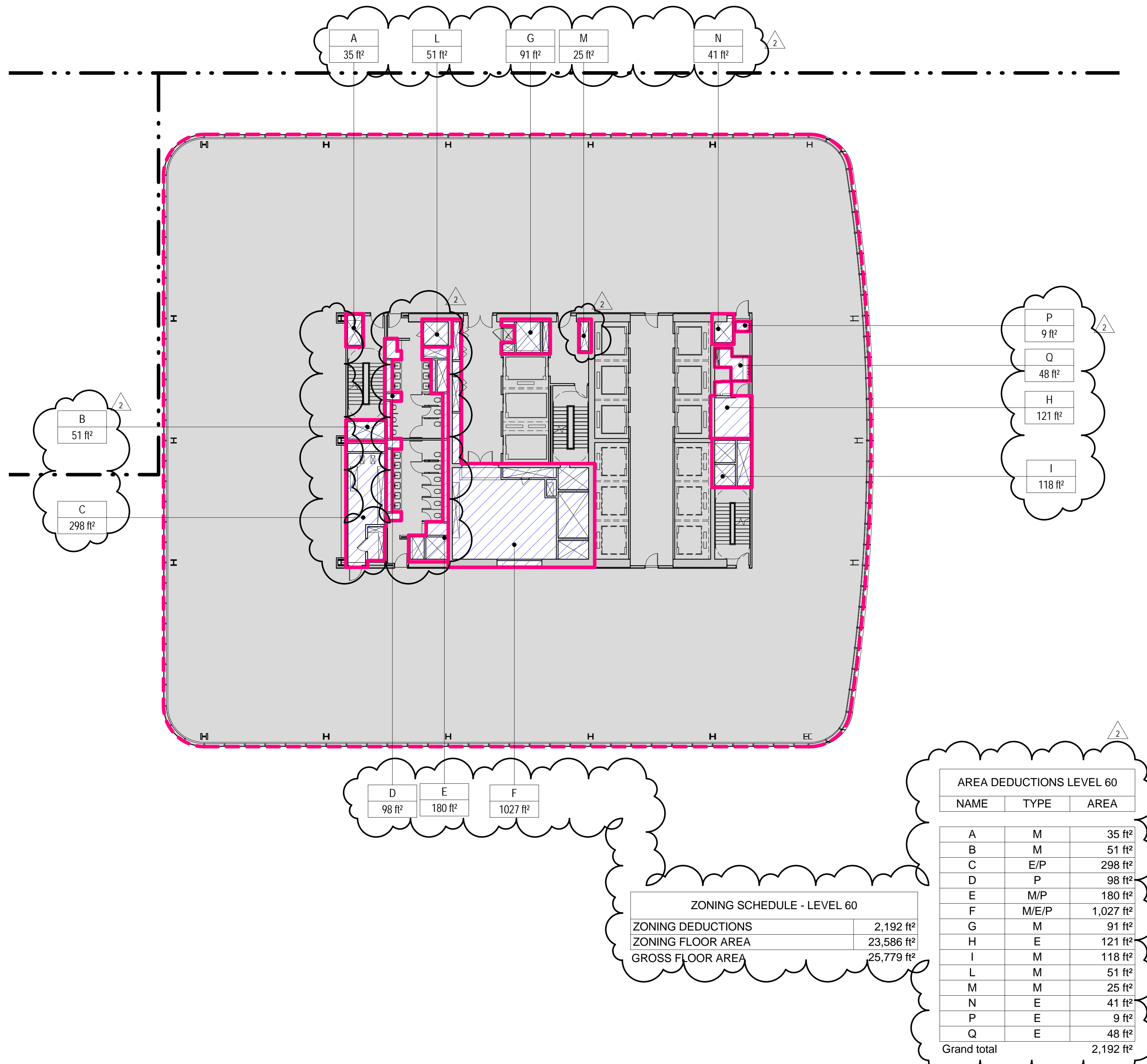
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SCALE: 1/16" = 1'-0"



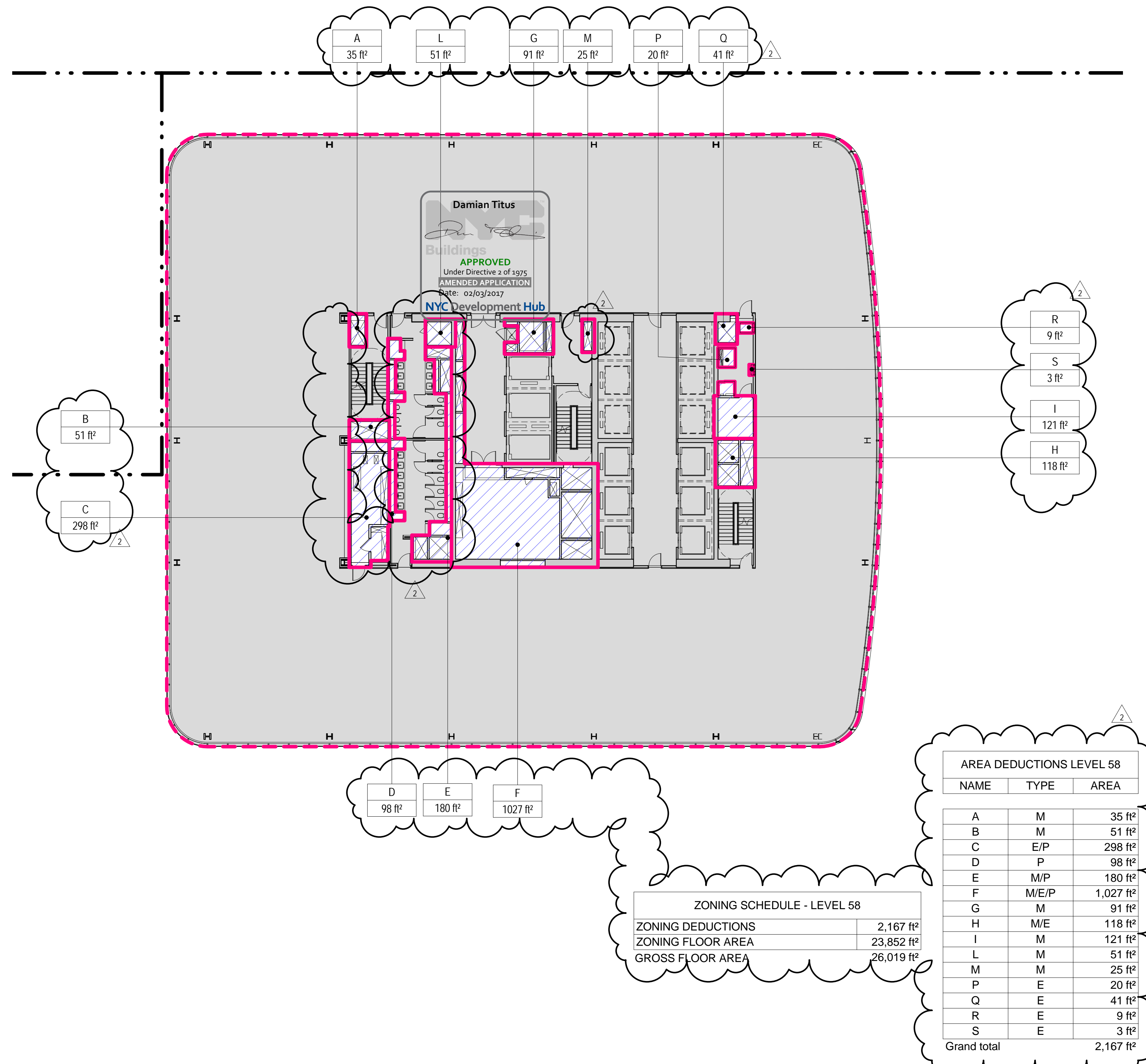
## 4 LEVEL 60 PLAN

SCALE: 1/16" = 1'-0"



## 2 LEVEL 58 PLAN

SCALE: 1/16" = 1'-0"





- GROSS BUILDING AREA
- ZONING AREA DEDUCTIONS
- ZONING FLOOR AREA
- RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL/IT
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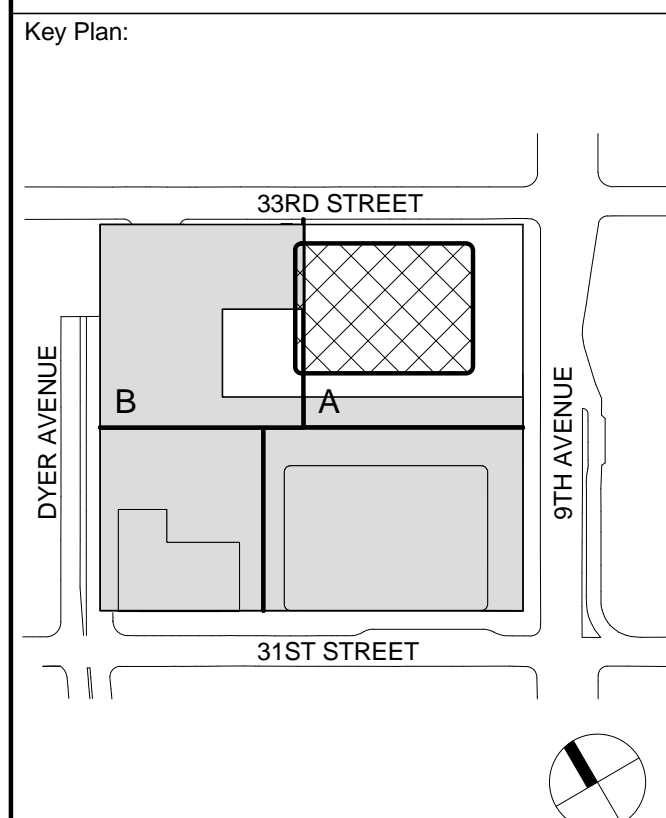
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Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

Vibration Consultant  
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- GROSS BUILDING AREA
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40 Wall Street, New York, NY 10005

Acoustical Consultant  
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404 Fifth Avenue #8, New York, NY 10018

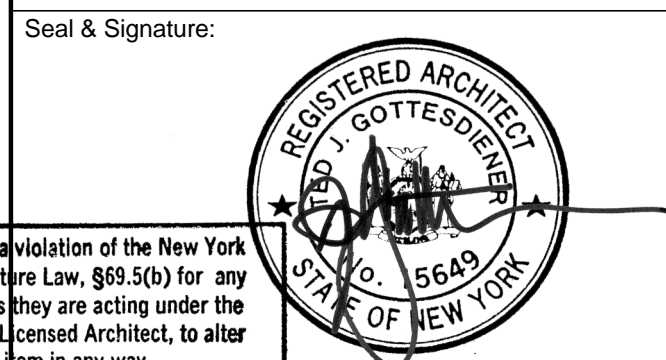
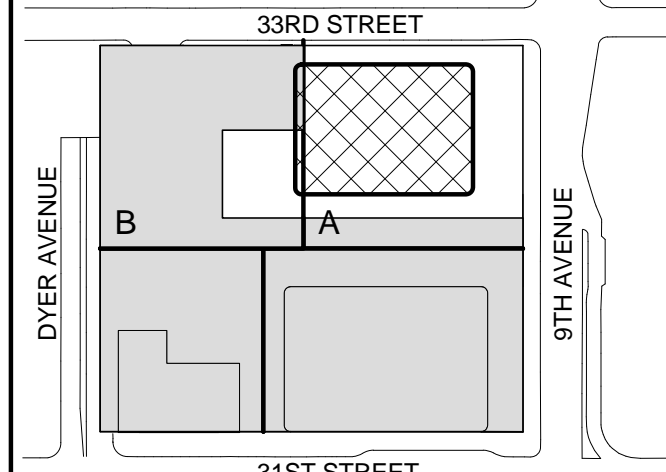
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Code Consultant  
Code Consultants Professional Engineers PC  
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Facade Maintenance Consultant  
Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:

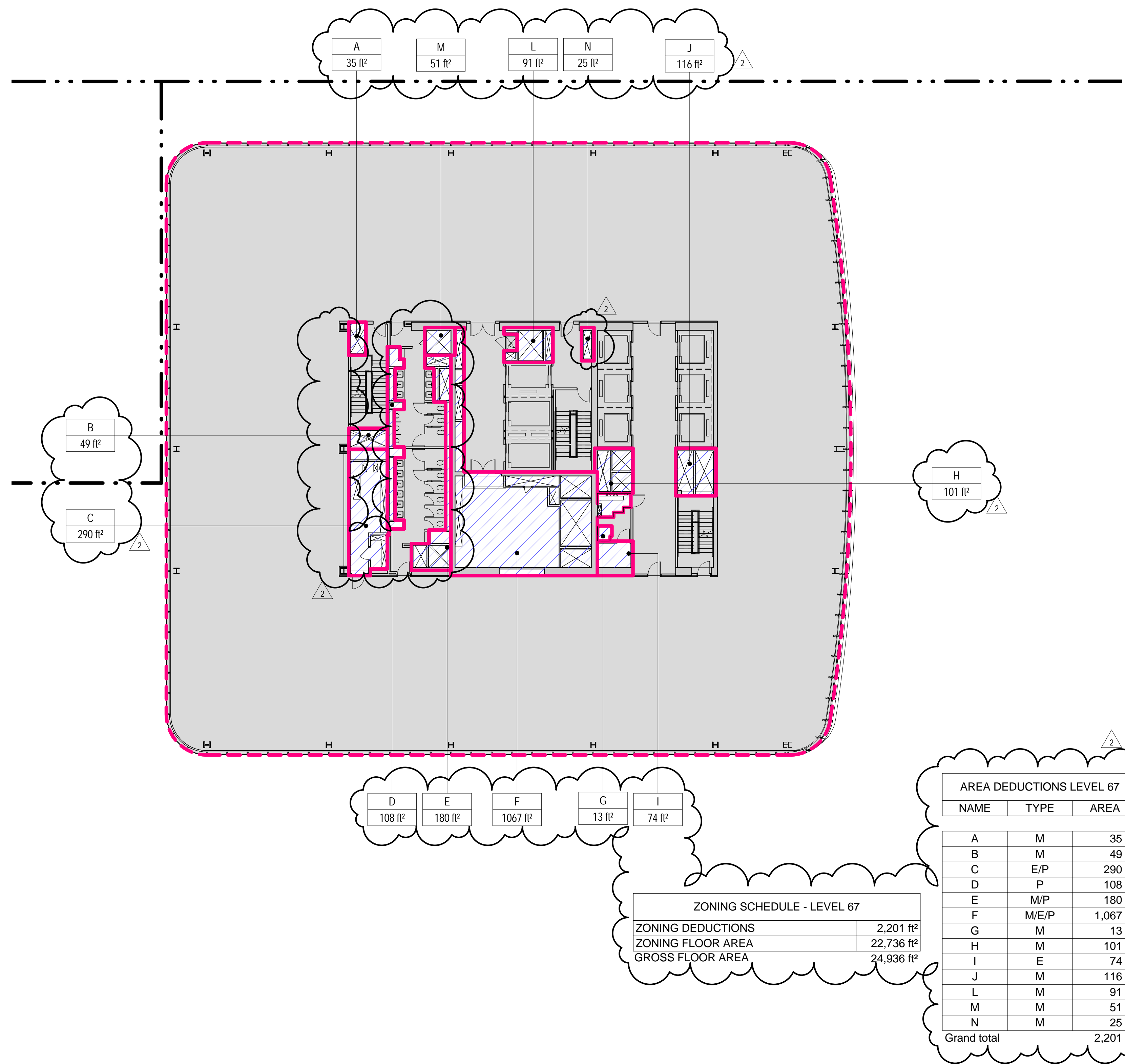


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1	07 OCT 2015	ISSUED FOR BUILDING PERMIT
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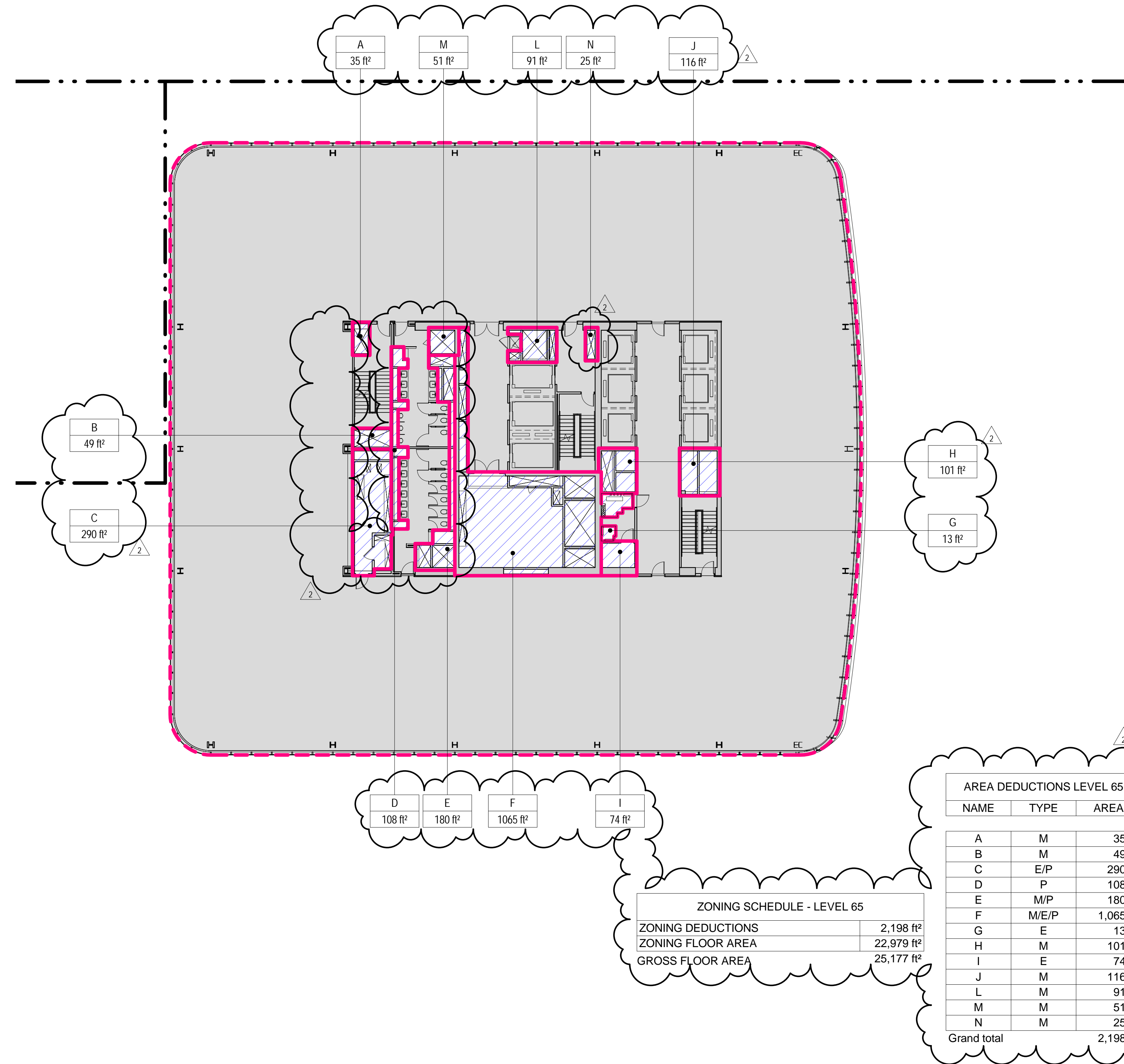
**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 65-68**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/16" = 1'-0"  
File No.: 2-120

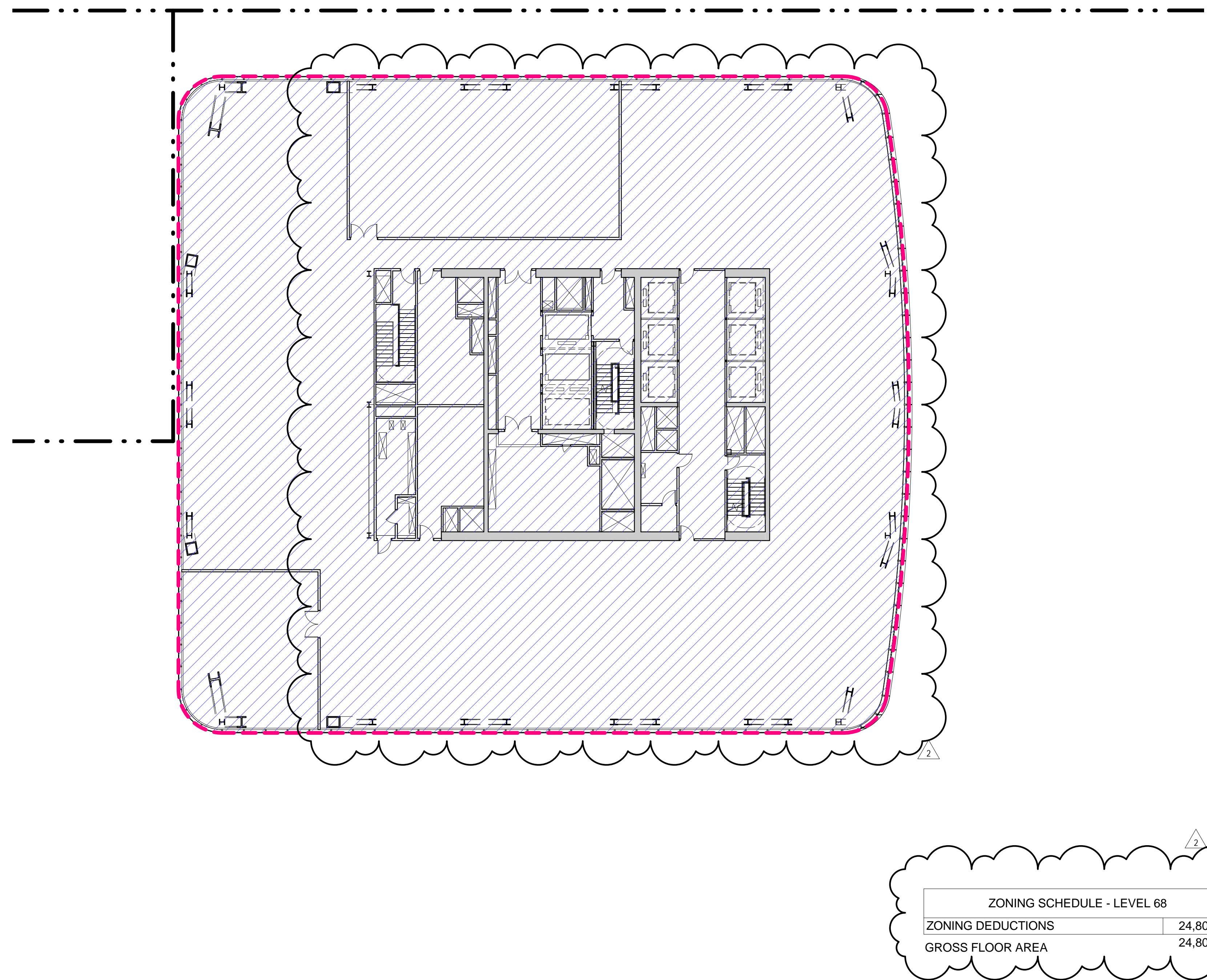
B-SCAN Sheet No.:  
**Z-120.02**  
Sheet No.: Z-120  
Page No.: 27 OF



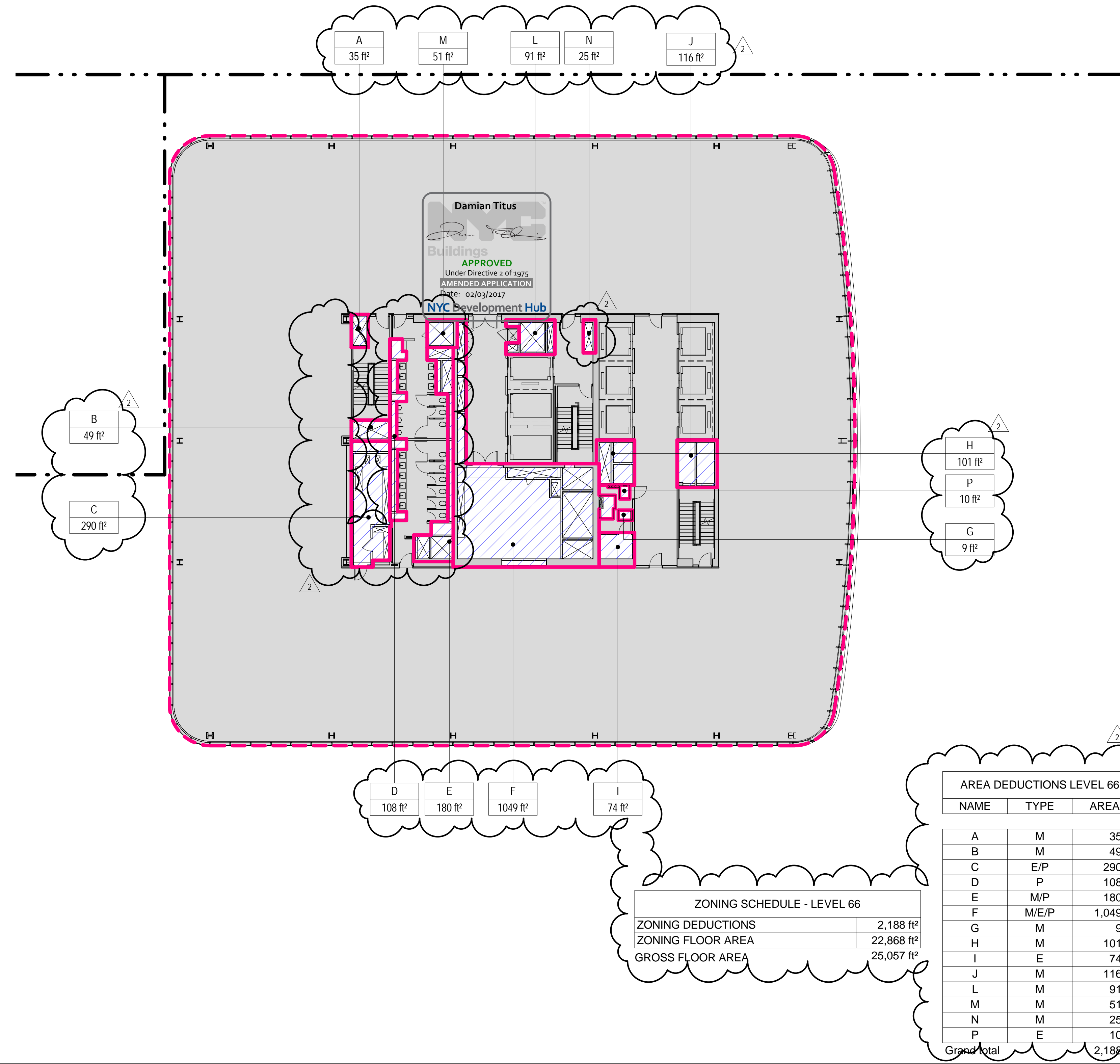
**3 LEVEL 67 PLAN**  
SCALE: 1/16" = 1'-0"



**1 LEVEL 65 PLAN**  
SCALE: 1/16" = 1'-0"

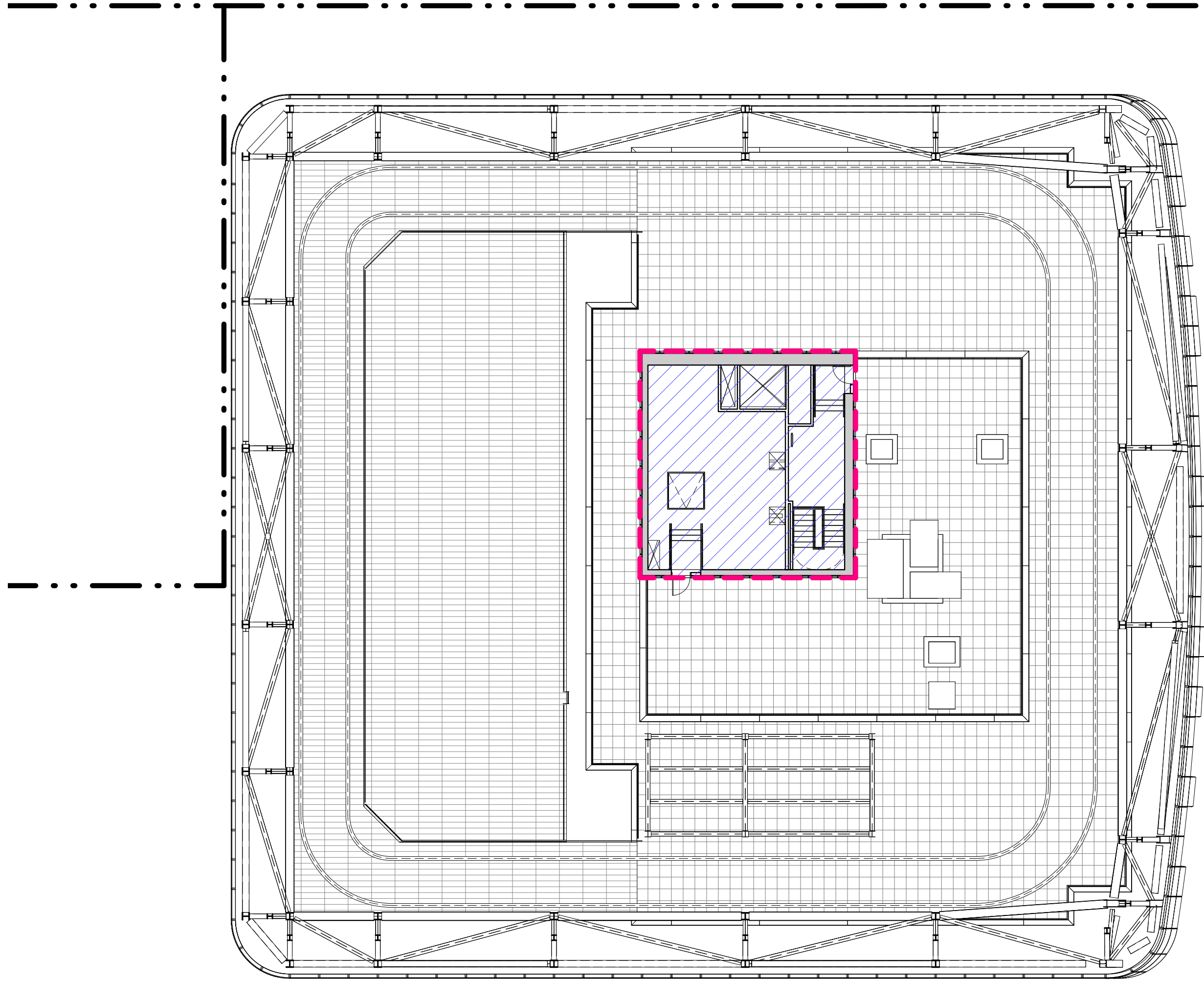


**4 LEVEL 68 PLAN**  
SCALE: 1/16" = 1'-0"



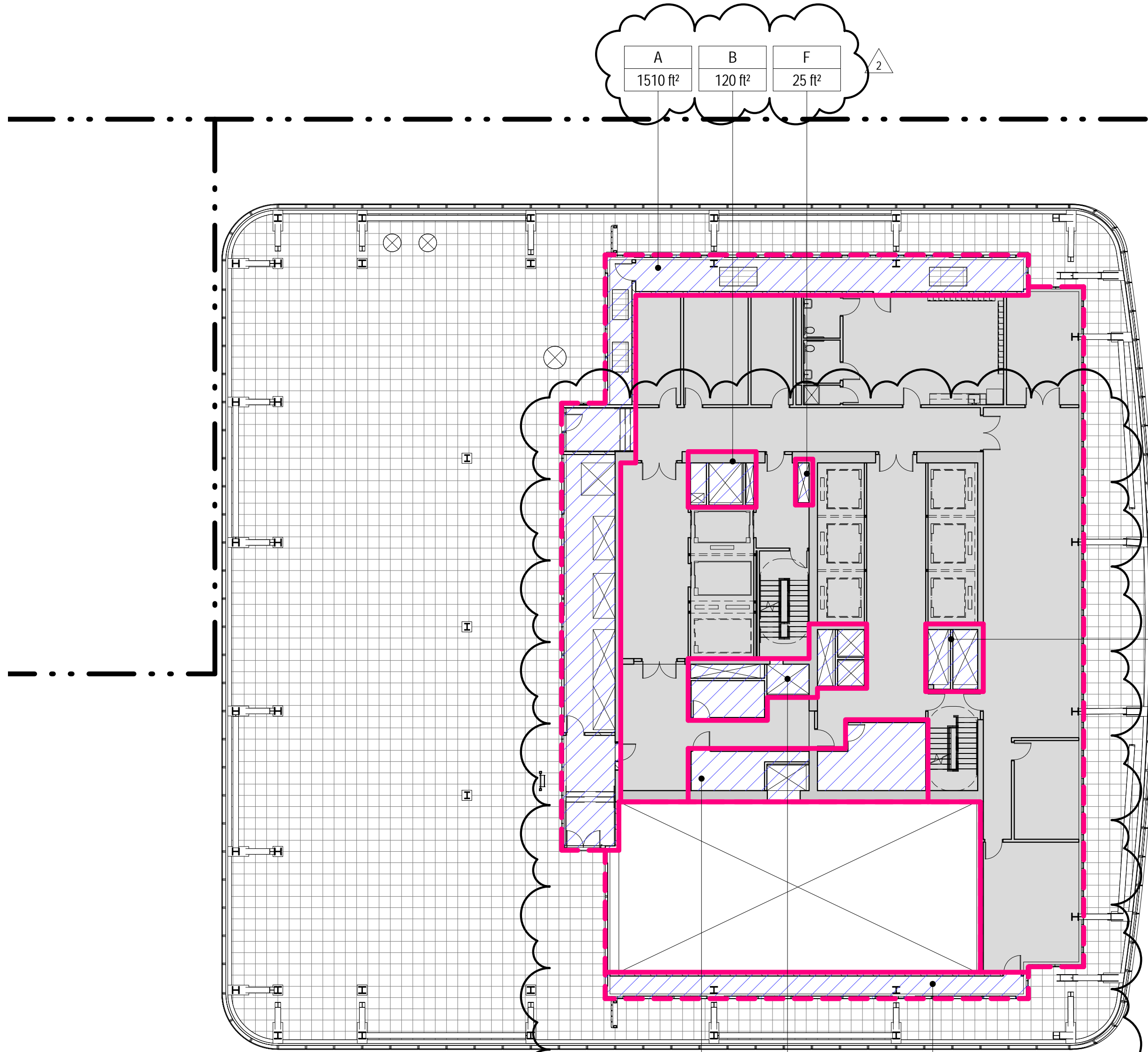
**2 LEVEL 66 PLAN**  
SCALE: 1/16" = 1'-0"





ZONING SCHEDULE - MECHANICAL PENTHOUSE...		
ZONING DEDUCTIONS	1,418 ft²	
GROSS FLOOR AREA	1,418 ft²	

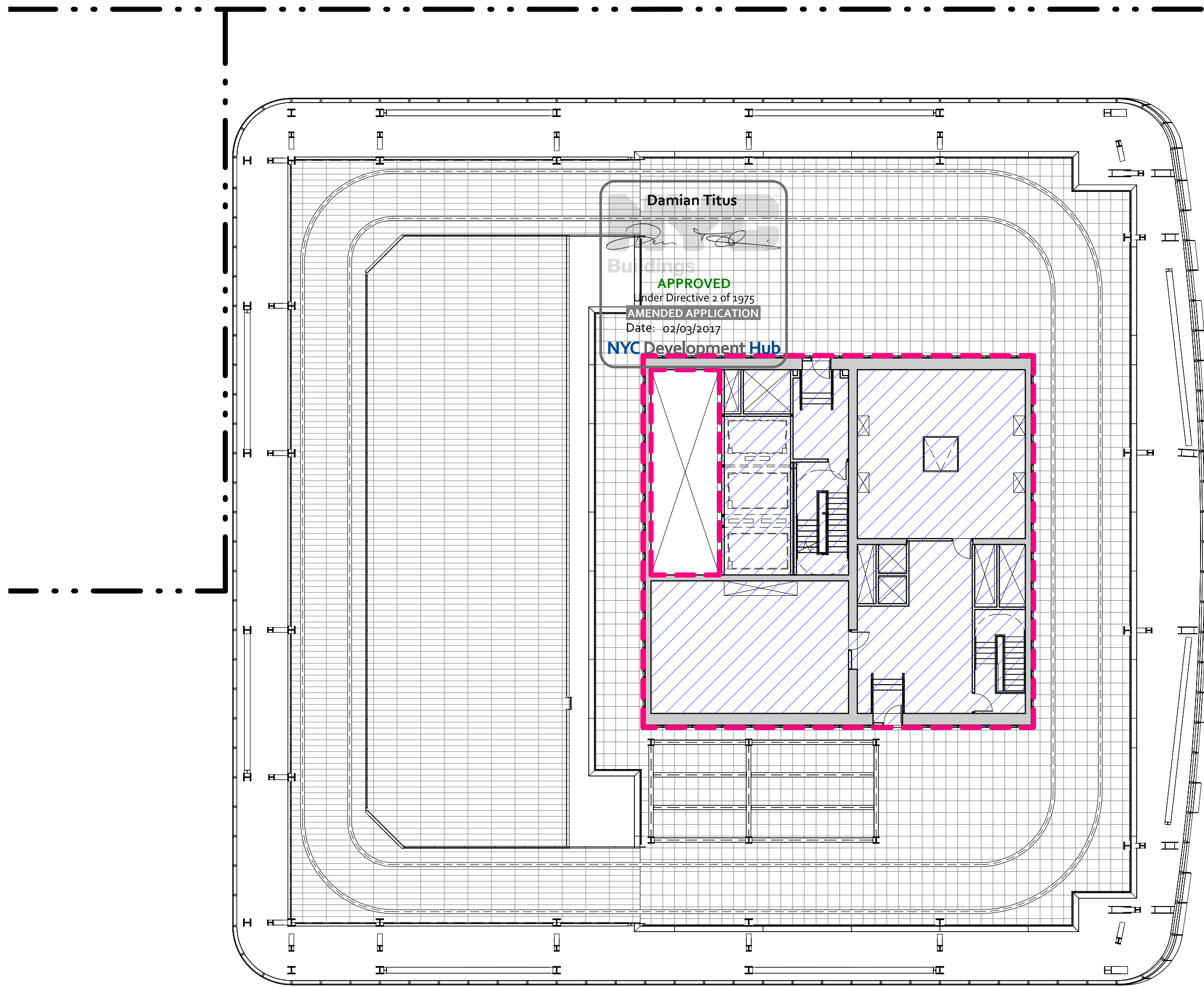
3 MECH. PENTHOUSE ROOF PLAN  
SCALE: 1/16" = 1'-0"



ZONING SCHEDULE - LEVEL 69		
ZONING DEDUCTIONS	2,939 ft²	
ZONING FLOOR AREA	6,835 ft²	
GROSS BUILDING AREA	9,774 ft²	

AREA DEDUCTIONS LEVEL 69		
NAME	TYPE	AREA
A	M	1,510 ft²
B	E/P	120 ft²
C	M/E/P	123 ft²
D	M/E/P	326 ft²
E	M	481 ft²
F	M	25 ft²
G	M	354 ft²
Grand total		2,939 ft²

1 LEVEL 69 PLAN  
SCALE: 1/16" = 1'-0"



ZONING SCHEDULE - MECHANICAL PENTHOUSE		
ZONING DEDUCTIONS	3,776 ft²	
GROSS FLOOR AREA	3,776 ft²	

2 MECH. PENTHOUSE PLAN  
SCALE: 1/16" = 1'-0"

## GENERAL NOTES

### ZONING LEGENDS

- GROSS BUILDING AREA
- ZONING AREA DEDUCTIONS
- ZONING FLOOR AREA
- RETAIL
- MR MECHANICAL ROOM
- M MECHANICAL
- E ELECTRICAL/TEL/IT
- P PLUMBING
- EM ELEVATOR MACHINE ROOM



MANHATTAN WEST:  
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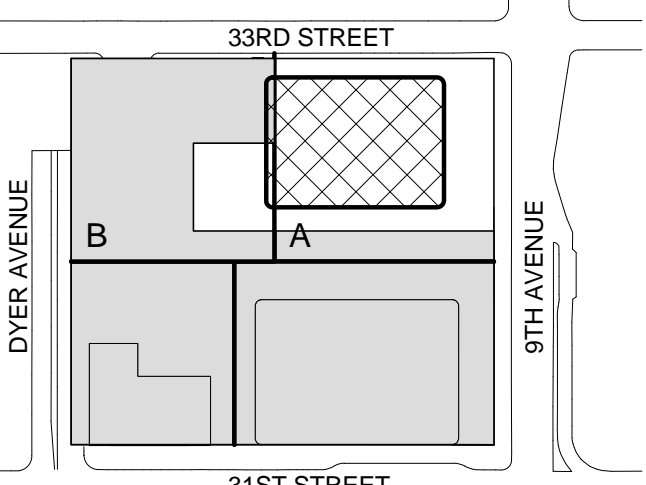
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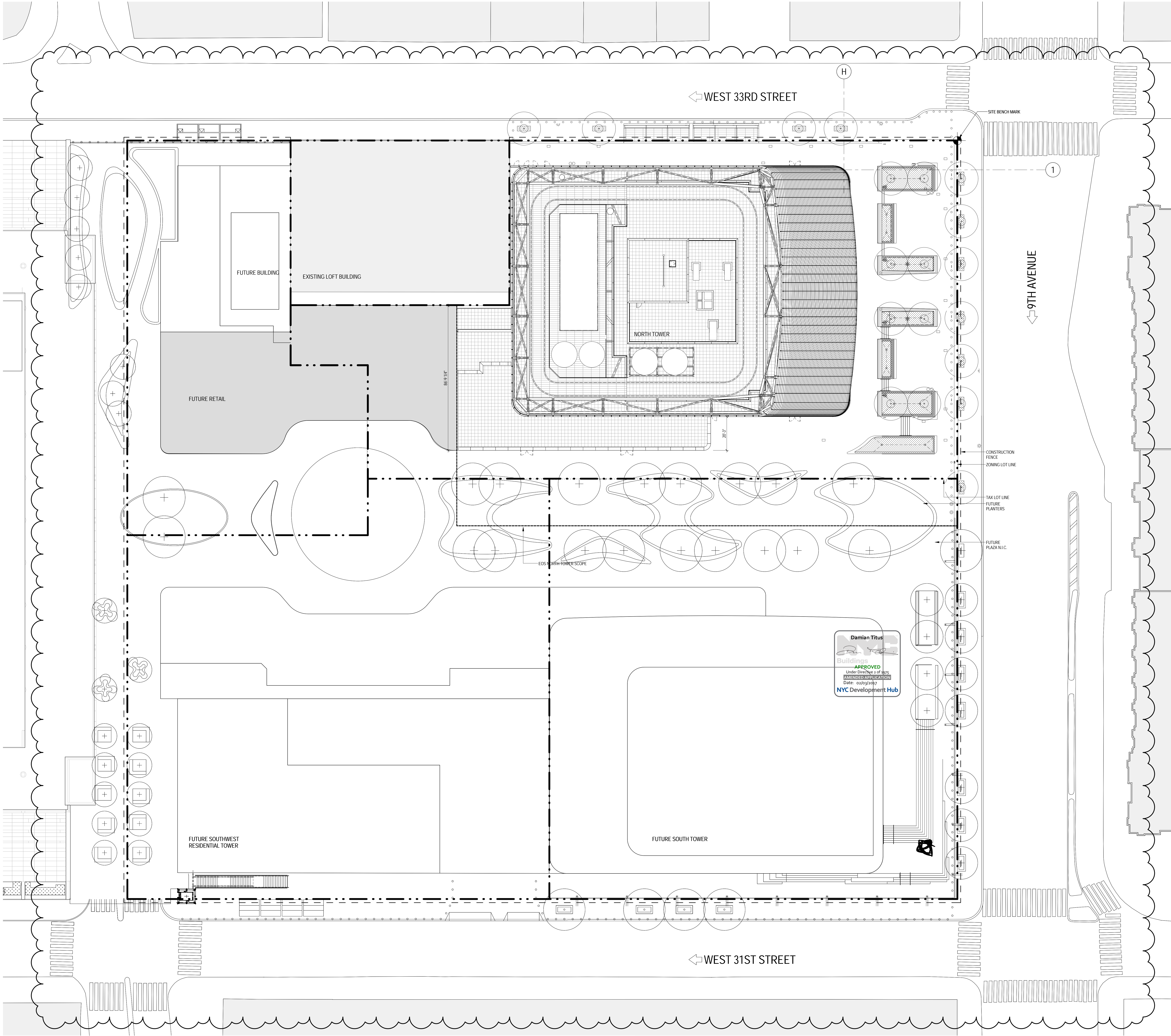
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**ZONING FLOOR  
AREA  
DEDUCTIONS -  
LEVEL 69 &  
PENTHOUSE  
ROOF PLANS**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/16" = 1'-0"  
File No: Z-121  
B-SCAN Sheet No.: Z-121.01  
Sheet No.: 28 OF





GENERAL NOTES

1. THIS SITE PLAN IS DERIVED FROM THE SURVEY PREPARED BY MANHATTAN WEST SURVEY, P.C. THE CONTRACTOR SHALL VERIFY ALL INFORMATION SHOWN. SKIDMORE, OWINGS & MERRILL LLP MAKES NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE SURVEY INFORMATION. FOR SURVEY INFORMATION REFER TO Y-SERIES DRAWINGS.
2. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. THERE ARE NO BUILDINGS WITHIN 90' OF THE SITE MARKED AS LANDMARKED BY THE NYC LANDMARKS PRESERVATION COMMISSION.



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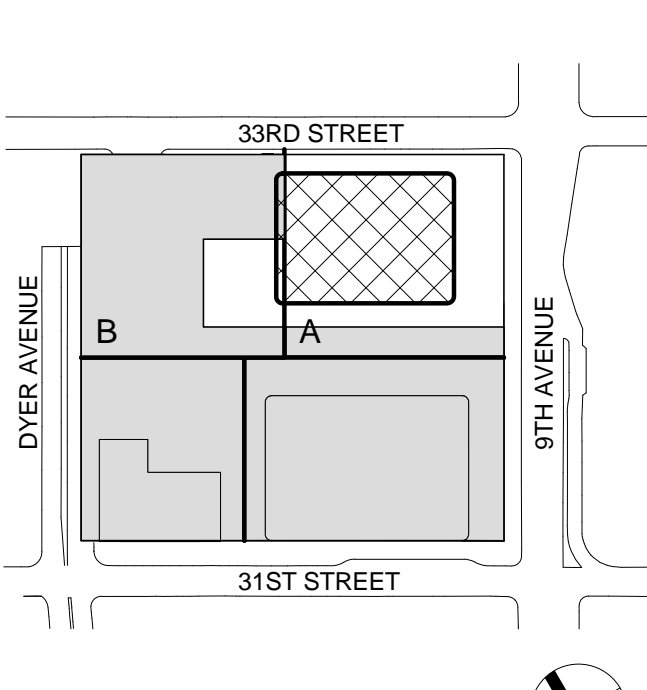
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No. Date Description

Sheet Name:

SITE PLAN

Project No.: 207150

B-SCAN Sheet No.: A-001.01

Date: 22 APR 2016

Scale: 1" = 20'-0"

File No.: A-001

Page No.: 1 OF 1



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4. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
5. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
7. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPPP ASSOCIATES SERVICE DRAWINGS FOR LOCATIONS OR ALL CEILING/WALL MOUNTED DEVICES.
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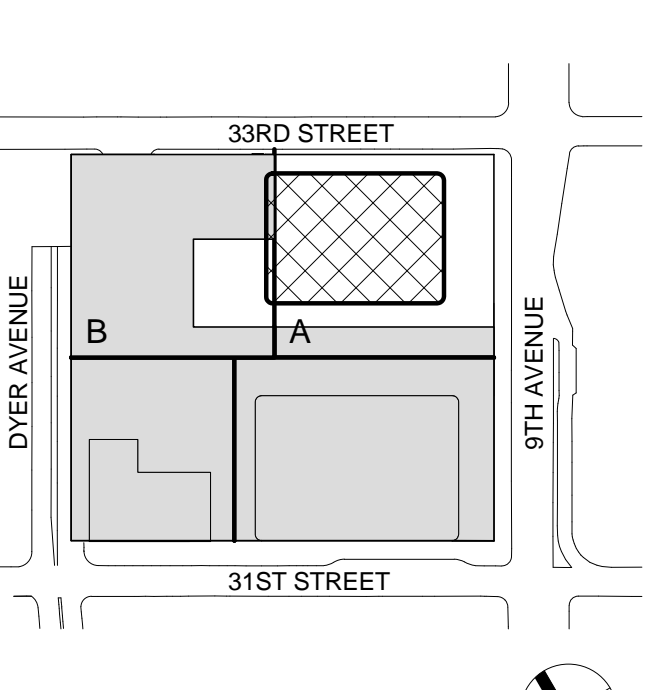
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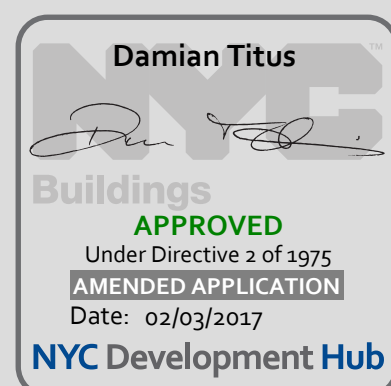
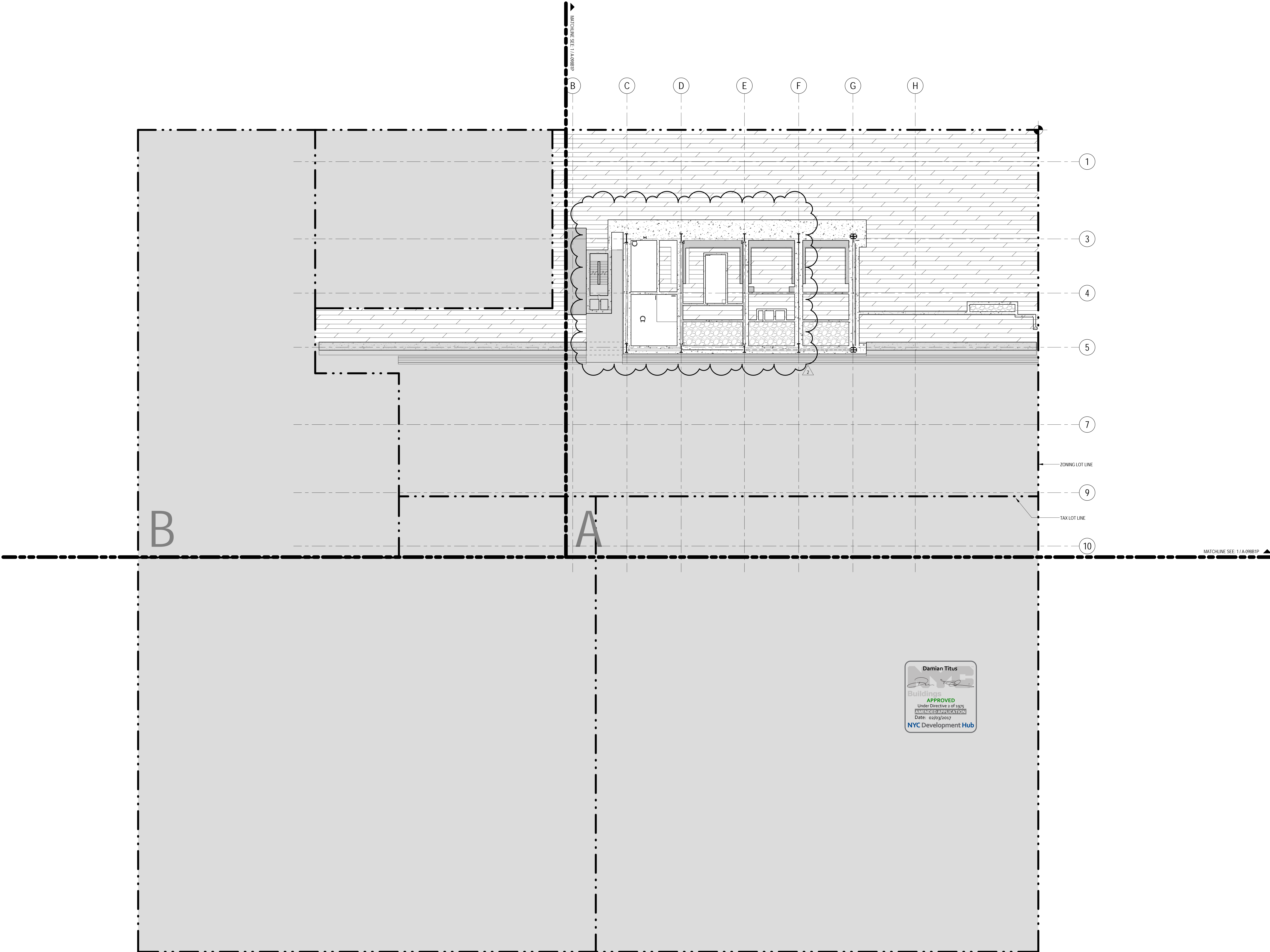


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KEY PLAN -  
CELLAR B1 PITS

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1" = 20'-0"  
File No.: A-004

B-SCAN Sheet No.:  
A-004.01  
Sheet No.: A-004  
Page No.: 1 OF 25





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File No.: A-005

B-SCAN Sheet No.: A-005.01

Sheet No.: A-005

Page No.: 2 OF 25

KEY PLAN - CELLAR B1

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B-SCAN Sheet No.: A-005.01

Sheet No.: A-005

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KEY PLAN - CELLAR B1

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B-SCAN Sheet No.: A-005.01

Sheet No.: A-005

Page No.: 2 OF 25

KEY PLAN - CELLAR B1

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Page No.: 2 OF 25

KEY PLAN - CELLAR B1



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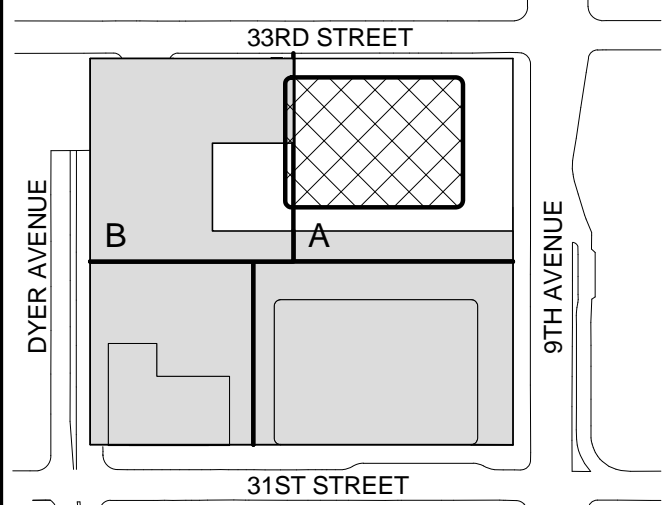
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KEY PLAN -  
CELLAR B

Project No.:

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File No.:

A-006

B-SCAN Sheet No.:

A-006.01

Sheet No.:

A-006

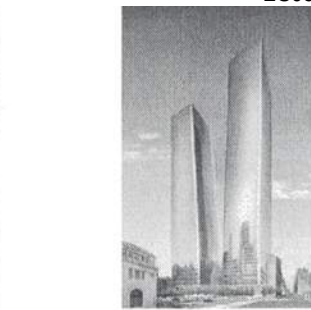
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Security Consultant  
Ducibella, Ventor & Santoro  
250 State Street #11, North Haven, CT 06473

Blast Consultant  
Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

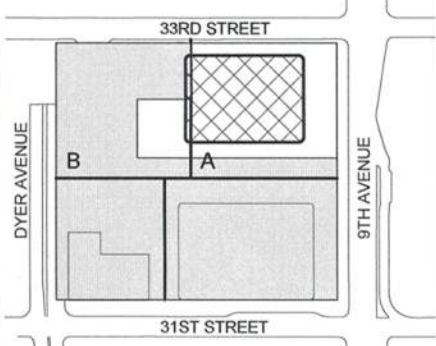
Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
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Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B6

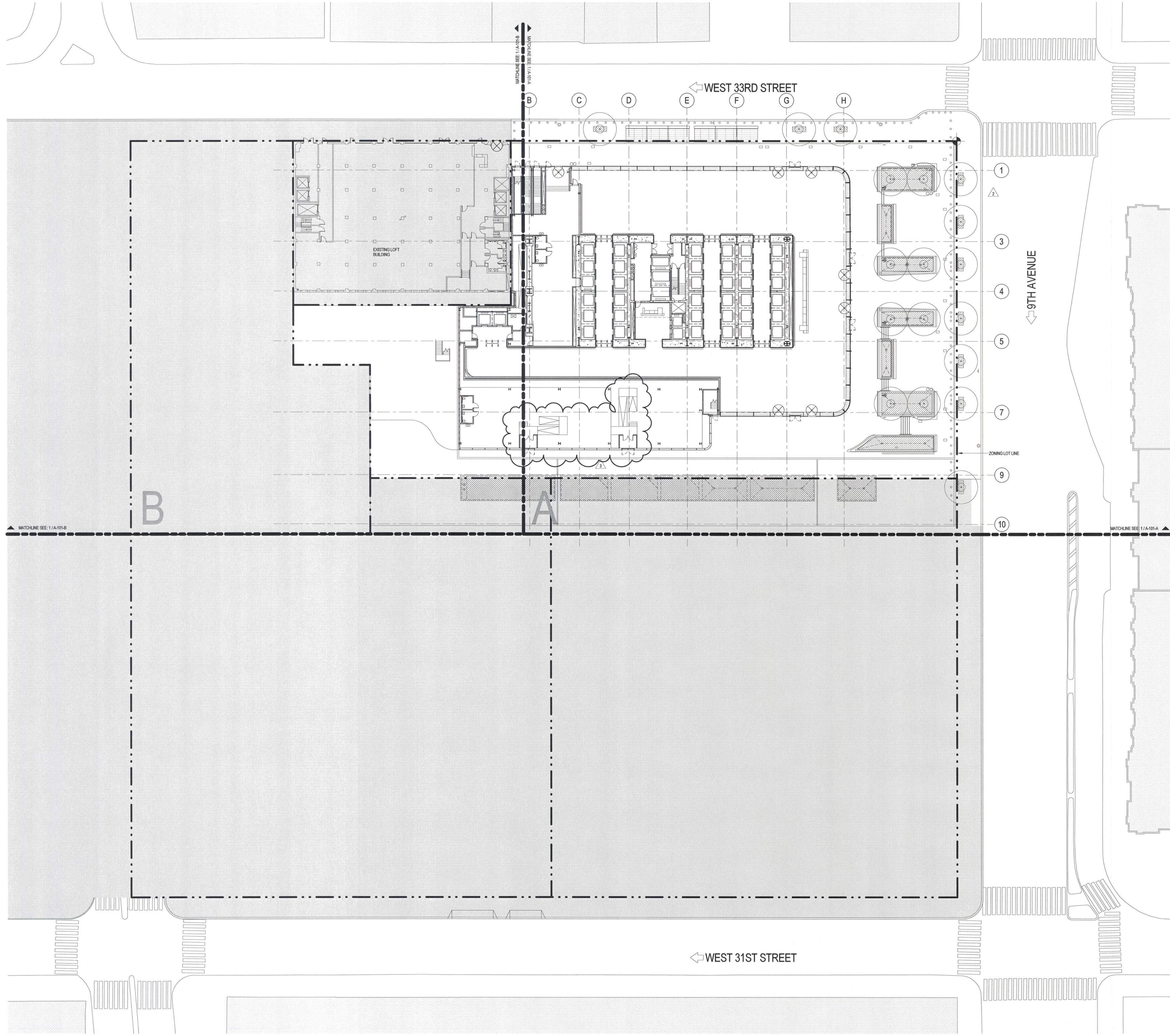
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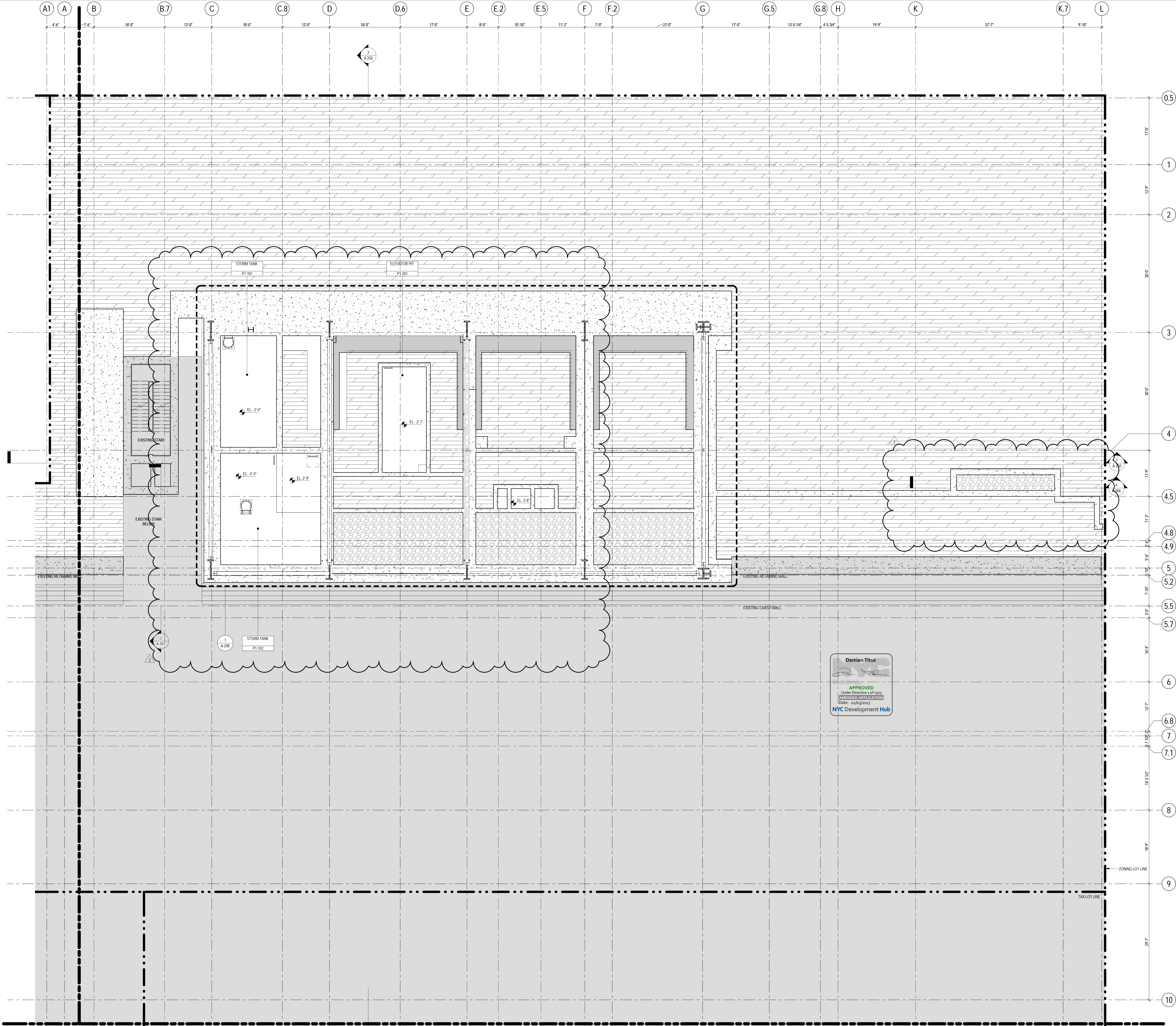
**KEY PLAN -  
GROUND FLOOR**

Project No.: 2017-029	B-SCAN Sheet No.: A-007.01
Date: 12 DEC 2016	Sheet No.: A-007
Scale: 1" = 20'-0"	Page No.: 4 OF 25
File No.: A-007	

**Damian Titus**  
APPROVED  
Under Directive 2 of 1975  
AMENDED APPLICATION  
Date: 02/03/2017  
NYC Development Hub







## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVB8).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK, NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS, & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/ASCETEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PERMIT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
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22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
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Key Plan:



Seal & Signature:



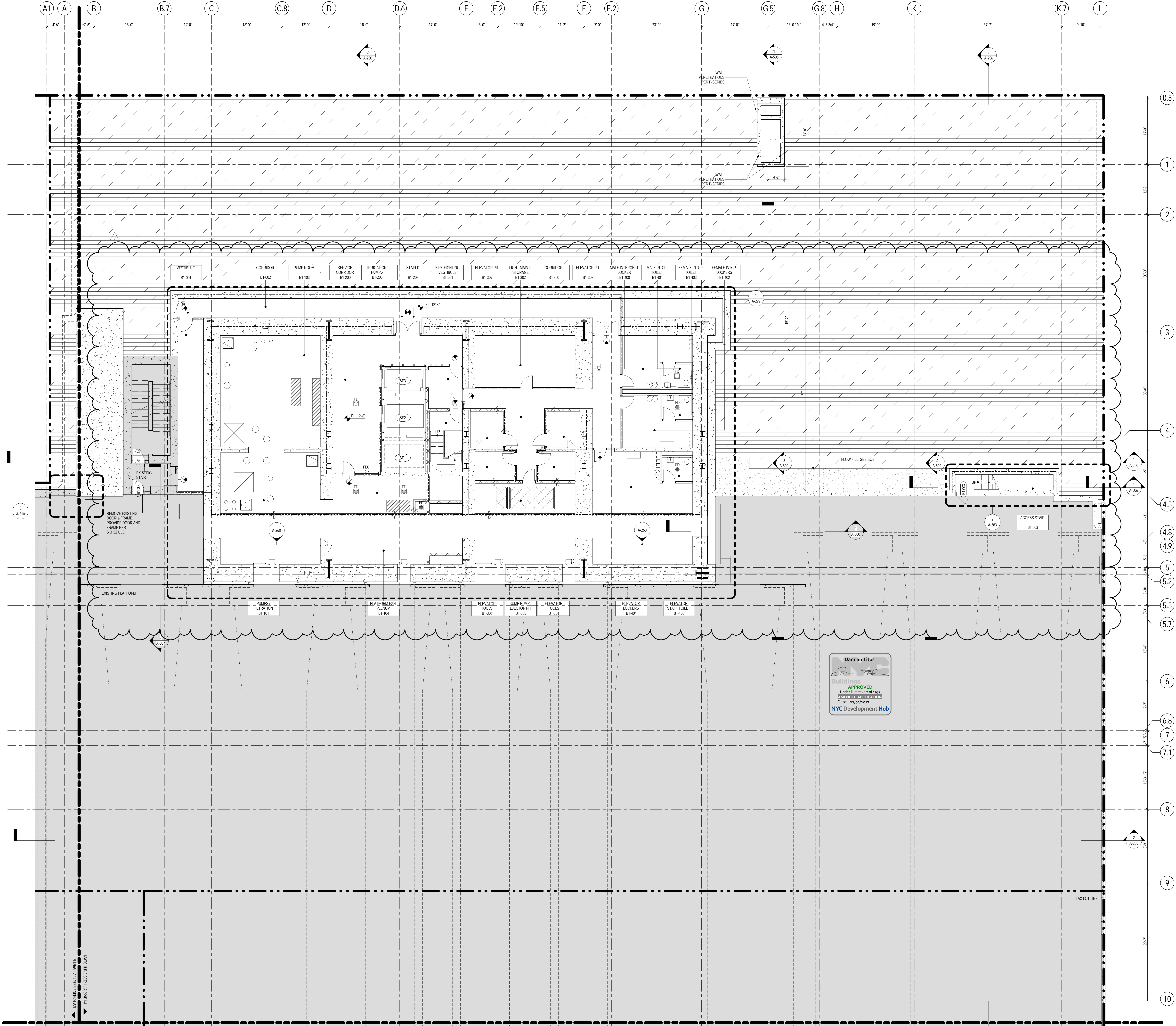
Warning: It is a violation of the New York State Architecture Law, §16-01, for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

No.	Date	Description
2	22 APR 2016	ISSUED FOR P&A
1	21 JUL 2015	ISSUED FOR BUILDING PERMIT

Sheet Name: **CELLAR B1 PIT PLAN**

Project No.:	B-SCAN Sheet No.:
207150	<b>A-094.01</b>
Date: 22 APR 2016	Sheet No.: <b>A-098B1P</b>
Scale: 1/8" = 1'-0"	Page No.: 8 OF 25
File No.: A-098B1P	





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7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPFP SCHEDULE SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
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20. PARTITIONS SUBDIVIDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 4" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
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26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
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5. SEE U-SERIES FOR UNDERSLAB DRAINAGE SYSTEM.

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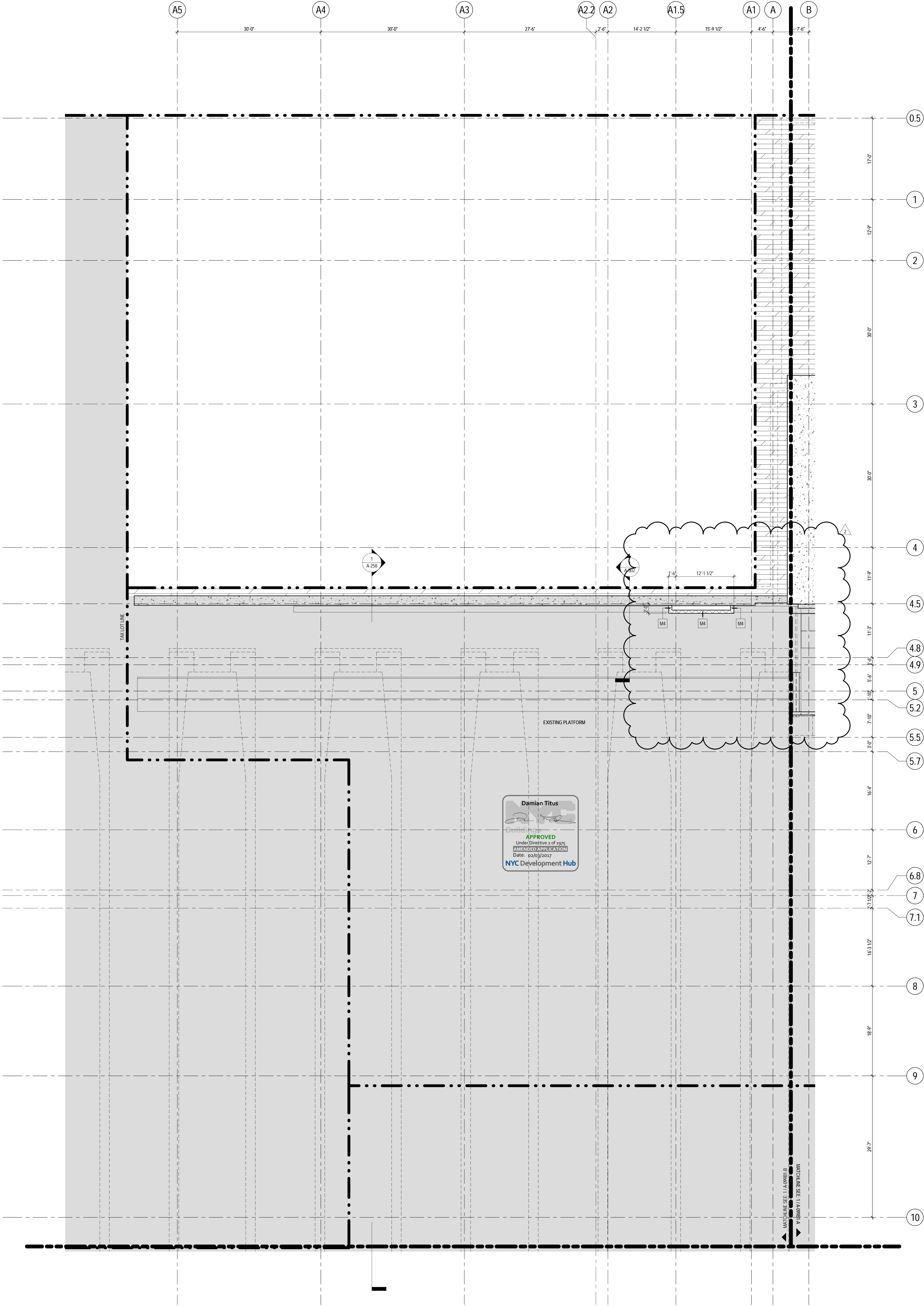
Key Plan:

Seal & Signature:

Warning: It is a violation of the New York State Architecture Law, §16-150, for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

Project No.: 207150	B-SCAN Sheet No.: A-095.01
Date: 22 APR 2016	Sheet No.: A-099B1-A
Scale: 1/8" = 1'-0"	Page No.: 9 OF 25
File No.: A-099B1-A	





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14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LEFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
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Key Plan:

Seal & Signature:

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No.	Date	Description
2	22 APR 2016	ISSUED FOR PAA
1	21 JUL 2015	ISSUED FOR BUILDING PERMIT

Sheet Name:

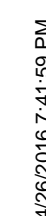
**CELLAR B1  
FLOOR PLAN -  
PART B**

Project No.: 207150	B-SCAN Sheet No.: <b>A-096.01</b>
Date: 22 APR 2016	Sheet No.: A-099B1-B
Scale: 1/8" = 1'-0"	Page No.: 19 OF
File No.: A-099B1-B	









Page No.: A-1006-B	Page No.: 11 of 22
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violation of the New York  
re Law, §69.5(b) for any  
they are acting under the  
licensed Architect, to alter  
in any way.



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9. FOR SELECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED, SEE MEPP/FAS/SET/SET/SET DRAWINGS FOR LOCATION OF ALL CEILING WALL MOUNTED DEVICES.
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14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOT BUILDING MUST BE CHECKED AND REPORTED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1916 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAYMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN A-600 SERIES FOR TYPICAL PENETRATIONS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1912 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1903.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 9" TALL CURBS, UNLESS OTHERWISE NOTED, TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO S01 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PASS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT TYPES.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PASS DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXISTING PARTITION WALLS AND HOUSEKEEPING PASS DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKEFIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND GAPS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-600-A-609 FOR ENCLOSURE GEOMETRY SET-OUT.

SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION.
2. SEE P-SERIES FOR DRAIN TYPES.
3. SEE L-SERIES FOR BOLLARD FINISHES.
4. SEE L-SERIES FOR SITE GRADING.
5. SEE A-609-A-606 FOR EXPANSION JOINT LOCATIONS AND TYPES.
6. SEE R-SERIES FOR SITE IRRIGATION.

Key Plan:



Seal & Signature



Sheet Name:

GROUND FLOOR PLAN - PART A

Project No: 201720  
Date: 12 DEC 2016  
Scale: 1/8" = 1'-0"

APPROVED  
Under Directive 2 of 1975  
AMENDED APPLICATION  
Date: 02/03/2017  
NYC Development Hub

Project No: 201720  
Date: 12 DEC 2016  
Scale: 1/8" = 1'-0"

File No: A-101-A  
Page No: 12 OF 25

**MANHATTAN WEST: NORTH TOWER**  
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MEP Engineering  
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50 Washington Street, Newark, CT 06854

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250 State Street #11, North Haven, CT 06473

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40 Wall Street, New York, NY 10005

Acoustical Consultant  
Ceramati & Associates  
404 Fifth Avenue #6, New York, NY 10016

Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant  
Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

Facade Maintenance Consultant  
Entek Engineering LLC  
165 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1H 1B9



GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE DB, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPP/FIRE/RECTEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-600 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2009 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN A-500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1910 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SITES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1903.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMINGS AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 306 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTORS.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-500 - A-508 FOR ENCLOSURE GEOMETRY SET-OUT.

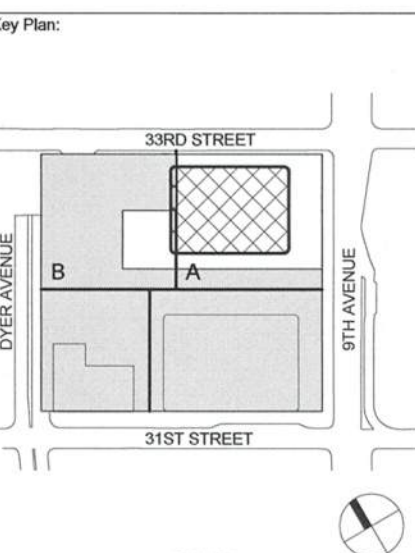
SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION.
2. SEE P-SERIES FOR DRAIN TYPES.
3. SEE L-SERIES FOR BOLLARD FINISHES.
4. SEE L-SERIES FOR SITE GRADING.
5. SEE A-050-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.
6. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN.

**Damian Titus**  
Buildings  
APPROVED  
Under Directive 2 of 1975  
AMENDED APPLICATION  
Date: 02/03/2017  
NYC Development Hub

**MANHATTAN WEST: NORTH TOWER**  
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Client  
**Brookfield**  
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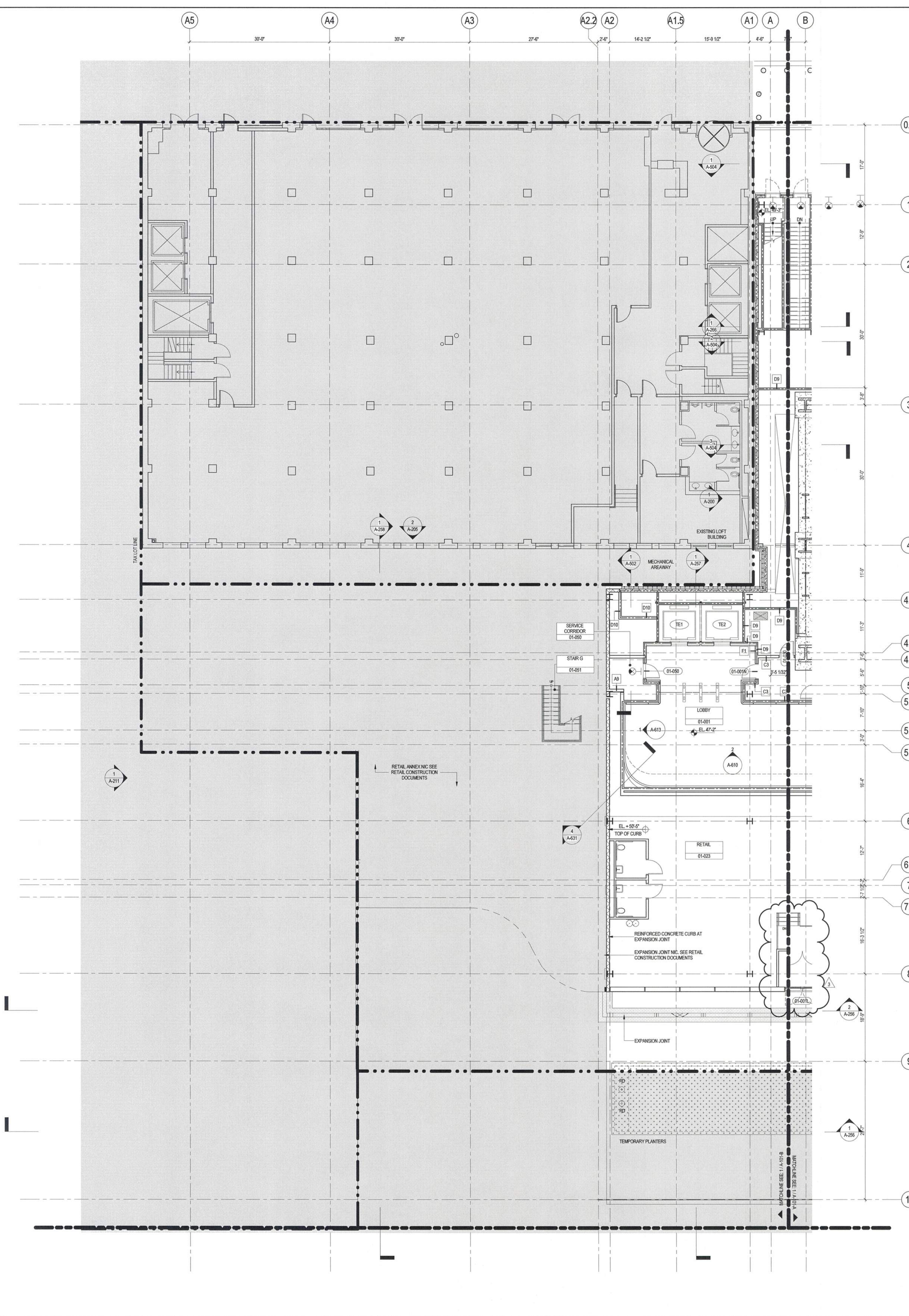
Architecture/Structural Engineering  
**SOM**  
Skidmore, Owings & Merrill LLP  
14 Wall Street, New York, NY 10005  
Civil Engineering  
Philip Habib & Associates  
102 Madison Avenue #11, New York, NY 10016  
MEP Engineering  
Jaros Baum & Bolles  
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Geotechnical Engineering  
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166 Ames Street, Hackensack, NJ 07601  
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650 Woodlawn Road West, Guelph Ontario, Canada N1K 1B9



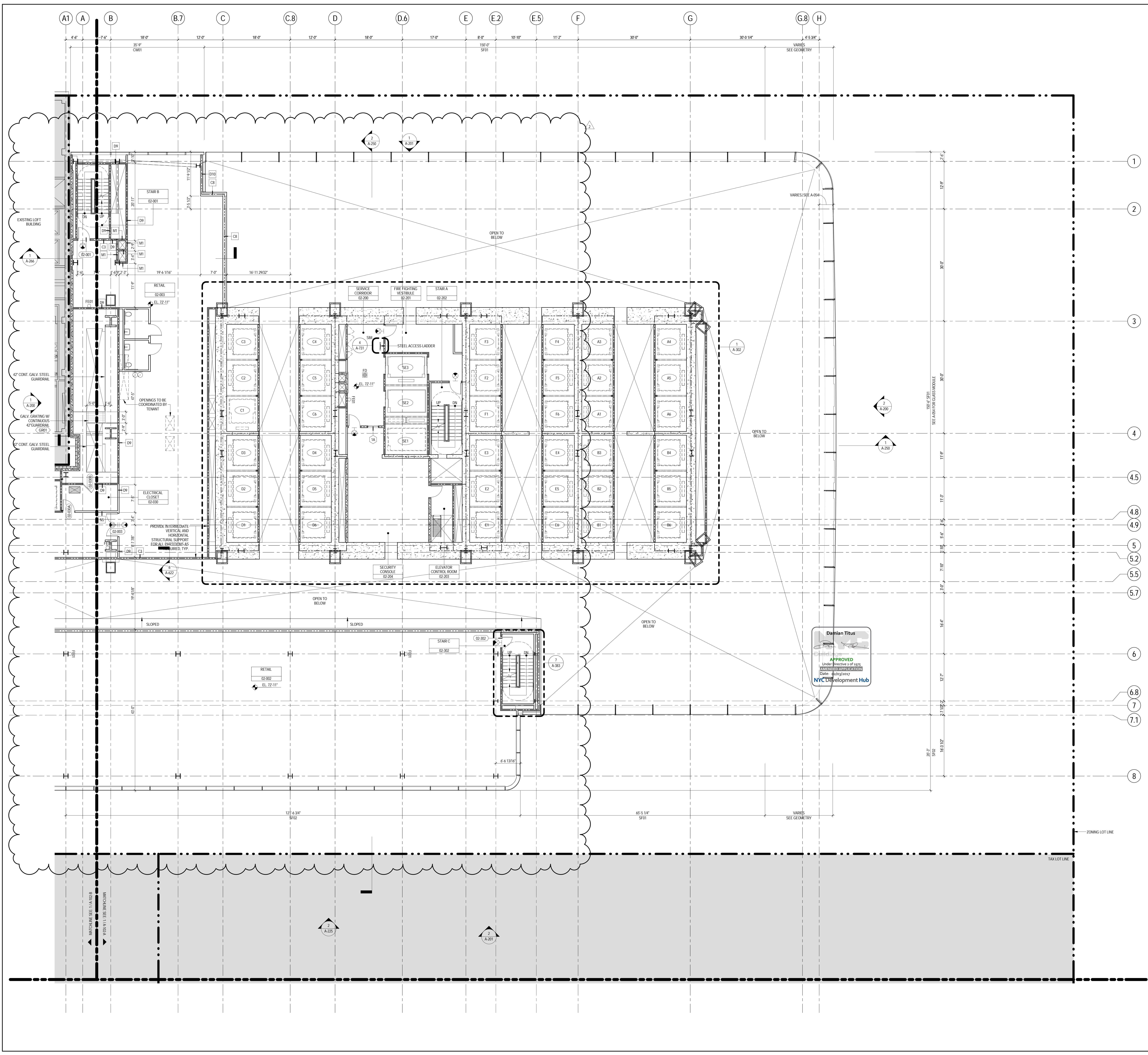
No.	Date	Description
3	12 DEC 2016	ISSUED FOR RWA
2	24 APR 2016	ISSUED FOR RWA
1	21 AUG 2015	ISSUED FOR BUILDING PERMIT

GROUND FLOOR PLAN - PART B

Project No.: 201749	B-SCAN Sheet No.: A-101.01
Date: 12 DEC 2016	Sheet No.: A-101-B
Scale: 1/8" = 1'-0"	Page No.: 13 OF 25
File No.: A-101-B	







### GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVB8).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS, & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. C-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPFP AND SETCEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPFP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 710 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1002.12 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL DRAWING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

### SHEET NOTES

1. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.
2. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN.

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Wind Tunnel Consultant  
**Rowan Williams Davies & Irwin Inc.**  
680 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:

Seal & Signature:

Warning: It is a violation of the New York State Architecture Law, §16-010, for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

2	22 APR 2016	ISSUED FOR P&A
1	21 JUL 2015	ISSUED FOR BUILDING PERMIT

No. \_\_\_\_\_ Date \_\_\_\_\_ Description \_\_\_\_\_  
Sheet No. \_\_\_\_\_

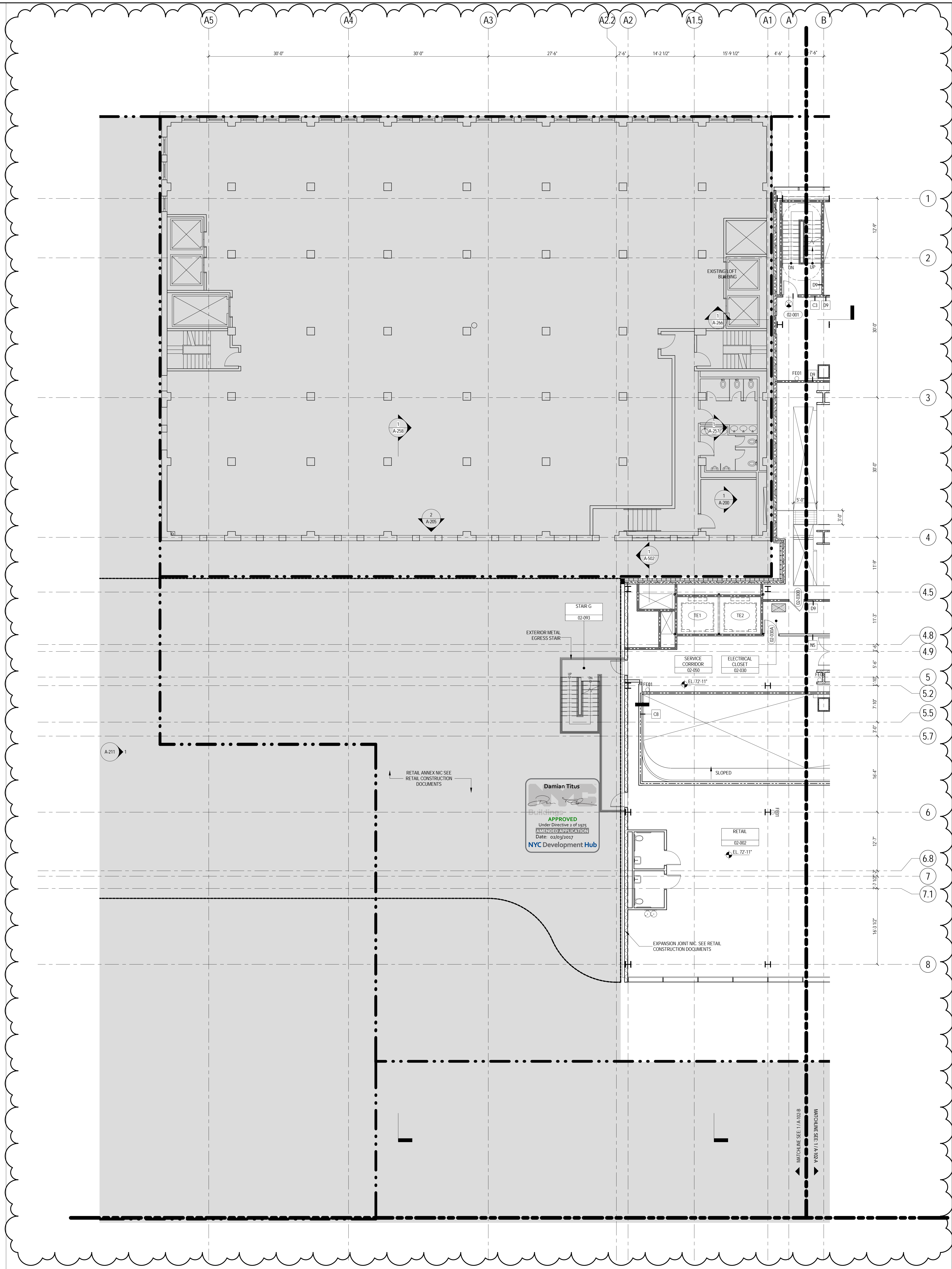
**LEVEL 2 FLOOR PLAN - PART A**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-102-A

B-SCAN Sheet No.: **A-102.01**  
Sheet No.: **A-102-A**  
Page No.: 14 OF 25

4/22/2016 7:42:41 PM






## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPF/ASSETL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPF DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOMS, RISERS AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LEFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2009 NEW YORK CITY BUILDING CODE, REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SITES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS, PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

## SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION.
2. SEE P-SERIES FOR DRAIN TYPES.
3. SEE L-SERIES FOR BOLLARD FINISHES.
4. SEE L-SERIES FOR SITE GRADING.
5. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.
6. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN.



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Weidinger Associates, Inc.  
40 Wall Street, New York, NY 10005

Acoustical Consultant  
Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

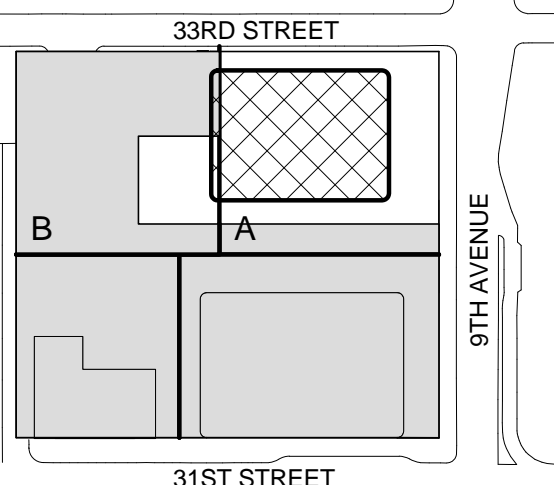
Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018


Facade Maintenance Consultant  
Entek Engineering LLC  
186 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
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Ontario, Canada N1K 1B8

Key Plan:



Seal & Signature:



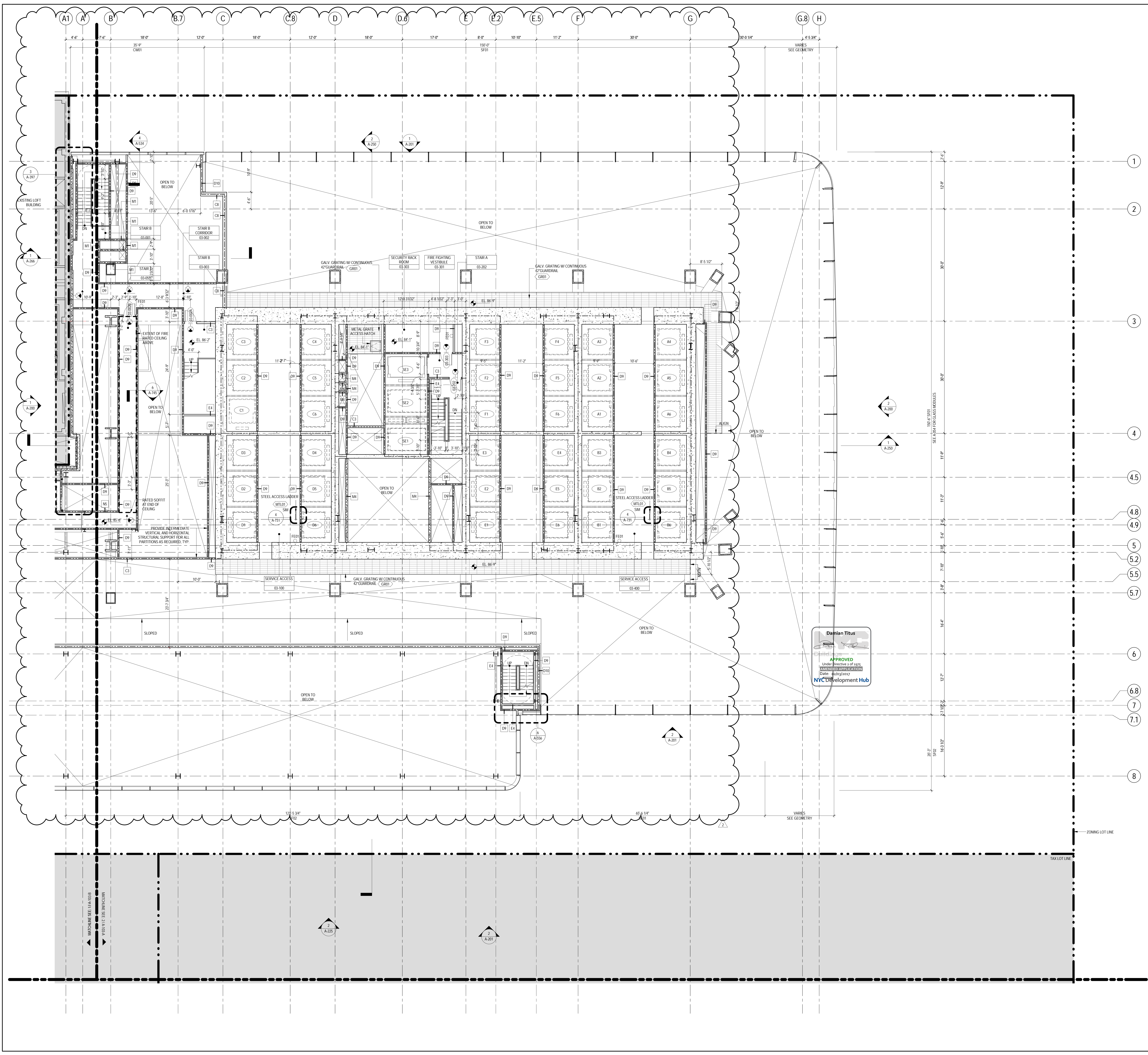
Warning: It is a violation of the New York State Architecture Law, §16-050, for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

No.	Date	Description
1	22 APR 2016	ISSUED FOR P&A

**LEVEL 2 FLOOR PLAN - PART B**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
Page No.: A-102-B  
B-SCAN Sheet No.: A-182.00  
Sheet No.: A-102-B  
Page No.: 15 OF 35





### GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVB88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-05.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-06a.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE DR, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF ROOMS NOT PROVIDED SEE MEPPFP/ACE/CEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPFP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, AND FIRE PROTECTION ROOM, RISER, AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1012 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SUBSERVING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTOGRAPHIC PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.6 & 1008 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-05.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

### SHEET NOTES

1. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.
2. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN.

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Key Plan:

Seal & Signature:

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Project No.: 207150	B-SCAN Sheet No.: A-103.01
Date: 22 APR 2016	Sheet No.: A-103-A
Scale: 1/8" = 1'-0"	Page No.: 16 OF 25
File No.: A-103-A	

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Wind Tunnel Consultant  
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Key Plan:

Seal & Signature:

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No.	Date	Description
1	22 APR 2016	ISSUED FOR P&A
2	22 APR 2016	
Sheet Name:		

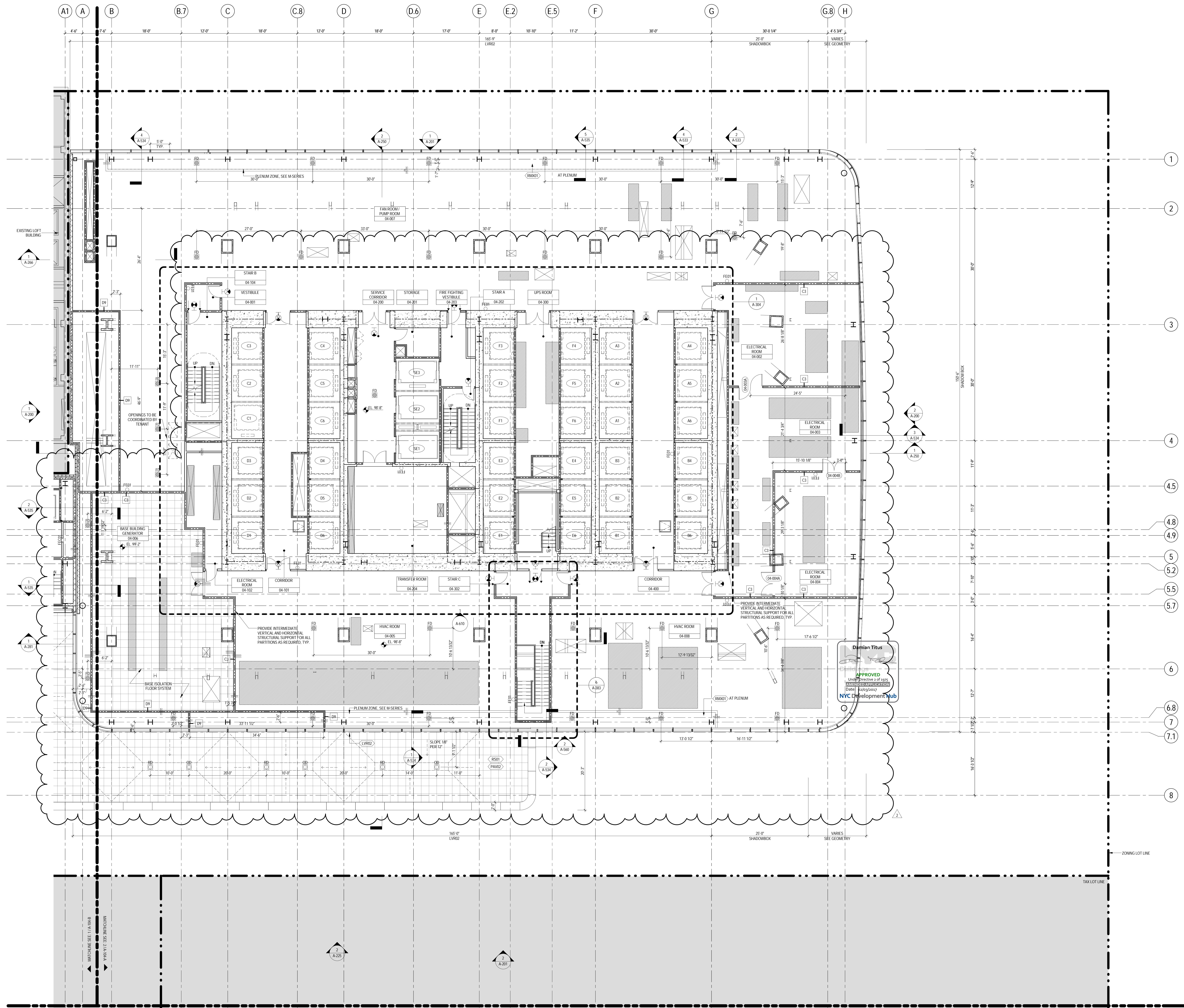
**LEVEL 3 FLOOR PLAN - PART B**

Project No.:	B-SCAN Sheet No.:
2017109	A-183.00
Date:	Sheet No.:
22 APR 2016	A-103-B
Scale:	Base No.:
1"= 1'-0"	17 OF 50
File No.:	Base No.:
107015	

LEVEL 3 FLOOR  
PLAN - PART B

Project No.: 207120	B-SCAN Sheet No.: <b>A-183.00</b>
Date: 22 APR 2016	Sheet No.: <b>A-103-B</b>
Scale: 1/8" = 1'-0"	
File No.: A-103-B	Page No.: 17 OF 25





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1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-05.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS, & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. C-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/PP/ASSET/SET/ SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP/PP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1012 OF THE 2009 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PLACEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIZES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 4" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 4" TALL CURBS WITH MOTIF TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHIFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

# SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION.
2. SEE P-SERIES FOR DRAIN TYPES.
3. SEE A-059 A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.



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14 Wall Street, New York, NY 10005

Civil Engineering  
Philip Habib & Associates  
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Vertical Transportation  
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Mueser Rutledge Consulting Engineers  
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475 10th Avenue, New York, NY 10018

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404 Fifth Avenue #8, New York, NY 10018

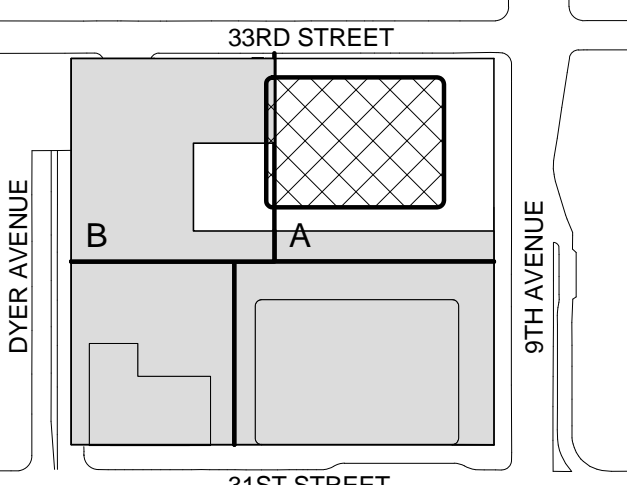
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Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:



Seal & Signature



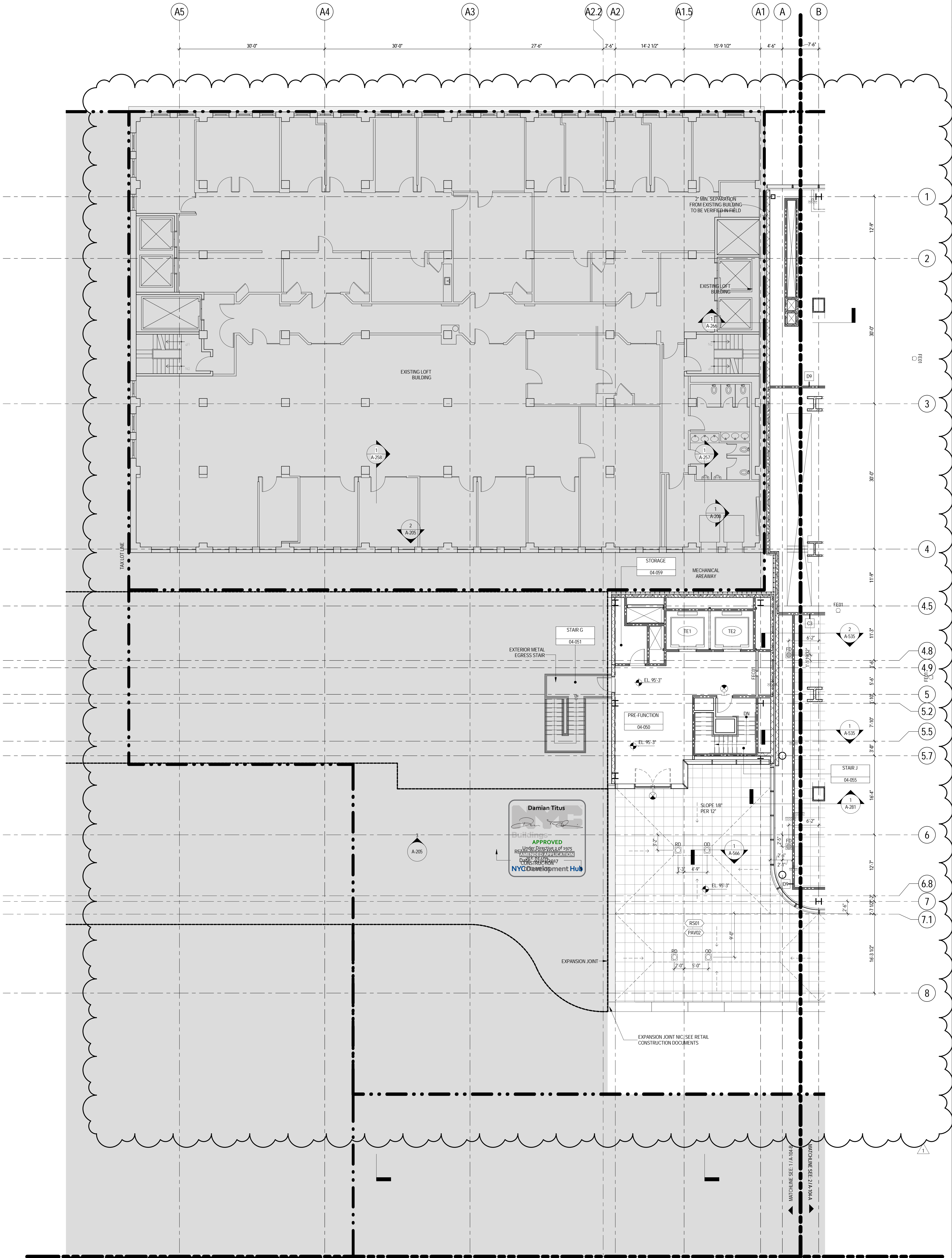
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2 22 APR 2016 ISSUED FOR P&A  
1 21 JUL 2015 ISSUED FOR BUILDING PERMIT  
No. Date  
Sheet Type

LEVEL 4 FLOOR  
PLAN - PART A

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-104-A  
B-SCAN Sheet No.: A-104.01  
Sheet No.: A-104-A  
Page No.: 18 OF 25






## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVB8).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-05.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-06.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEP/FPE/SC/TEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEP/FPE DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ROOM, ROOF, AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LOFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 403.18 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-06.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

## SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION.
2. SEE P-SERIES FOR DRAIN TYPES.
3. SEE L-SERIES FOR BOLLARD FINISHES.
4. SEE L-SERIES FOR SITE GRADING.
5. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.
6. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN.



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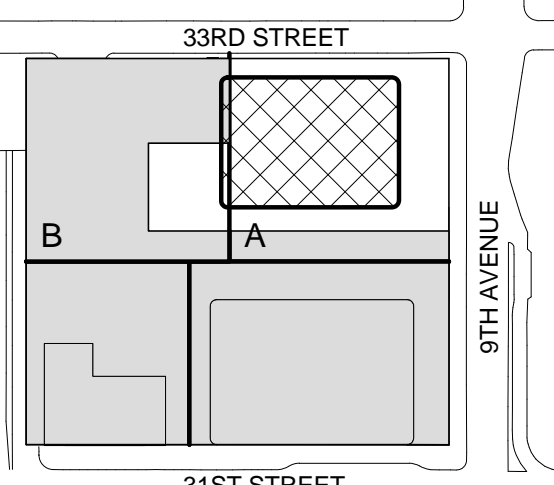
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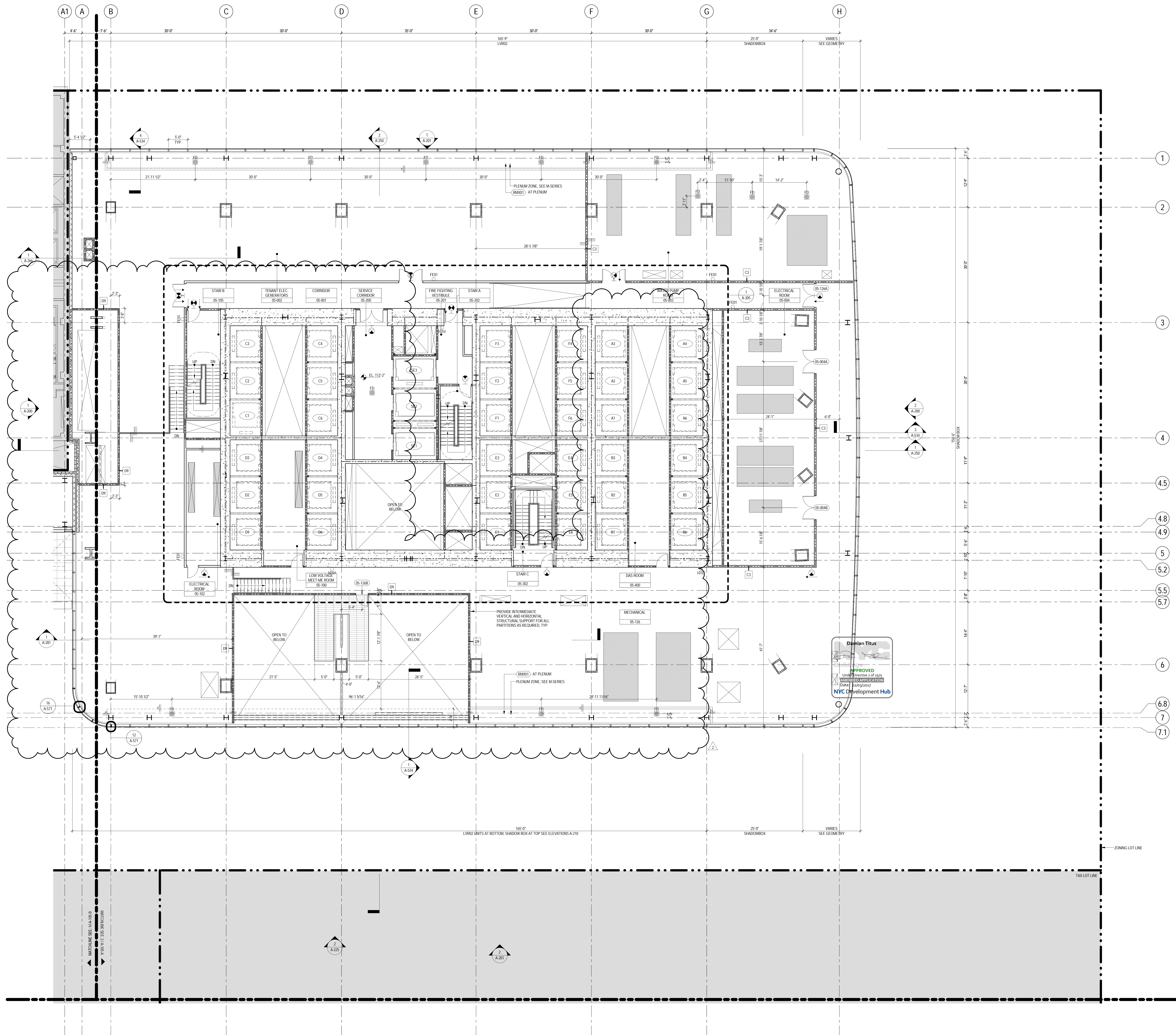
Warning: It is a violation of the New York State Architecture Law, §16-150, for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

No.	Date	Issued For	Description
1	22 APR 2016	ISSUED FOR P&A	

**LEVEL 4 FLOOR PLAN - PART B**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.:  
B-SCAN Sheet No.:  
A-184.00  
Sheet No.:  
A-104-B  
Page No.: 16 OF 25





## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVB8).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-05.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS, & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-06.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/PP/ASCETEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP/PP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LEFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAYMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
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20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 4" WIDE BY 4" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 4" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
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28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

## SHEET NOTES

1. SEE P-SERIES FOR DRAIN TYPES.
2. SEE A-059 A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.



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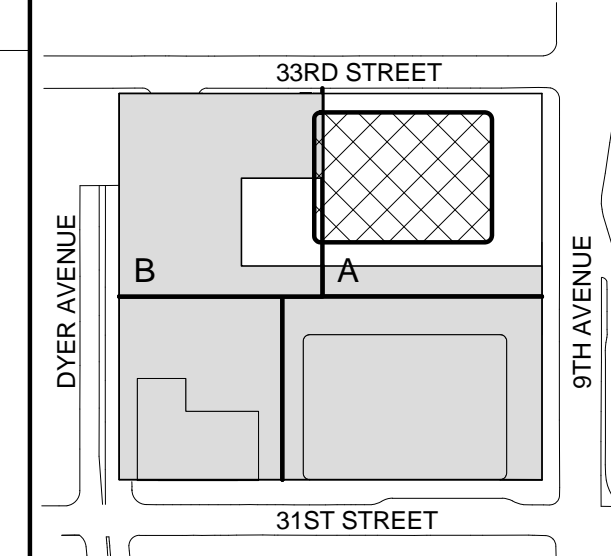
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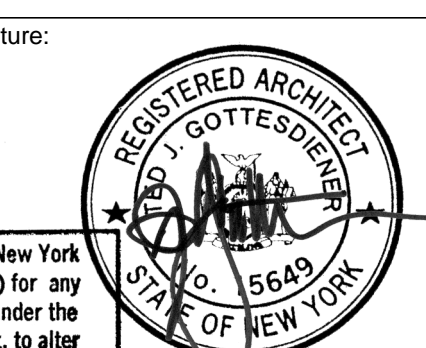
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Rowan Williams Davies & Irwin Inc.  
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Key Plan:



Seal & Signature:



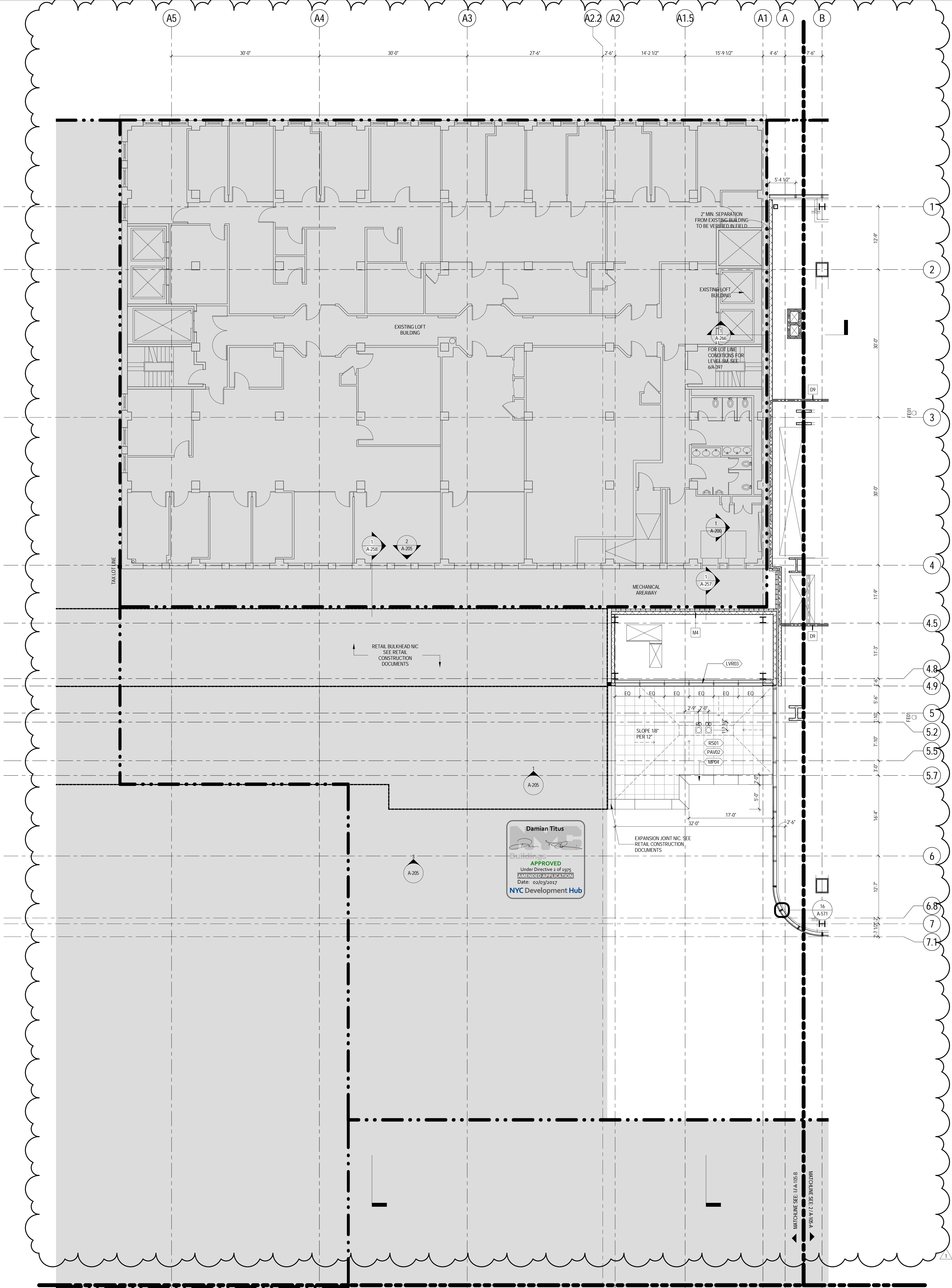
Warning: It is a violation of the New York State Architecture Law, §16-150, for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

2 22 APR 2016 ISSUED FOR P&A  
1 21 JUL 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Number

**LEVEL 5 FLOOR  
PLAN - PART A**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-105-A  
B-SCAN Sheet No.: A-105.01  
Sheet No.: A-105-A  
Page No.: 20 OF 25





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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPF/ASSETTEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
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12. REFER TO MEPPF DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
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27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHIFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
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29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

### SHEET NOTES

1. SEE L-SERIES FOR PLANTER DIMENSIONS, MATERIALS AND VEGETATION.
2. SEE P-SERIES FOR DRAIN TYPES.
3. SEE L-SERIES FOR BOLLARD FINISHES.
4. SEE L-SERIES FOR SITE GRADING.
5. SEE A-059-A-065 FOR EXPANSION JOINT LOCATIONS AND TYPES.
6. RETAIL BUILDING STILL UNDER COORDINATION WITH MASTERPLAN.

Key Plan:

Seal & Signature:

Warning: It is a violation of the New York State Architecture Law, §16-150, for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
Sheet No.: A-105-B

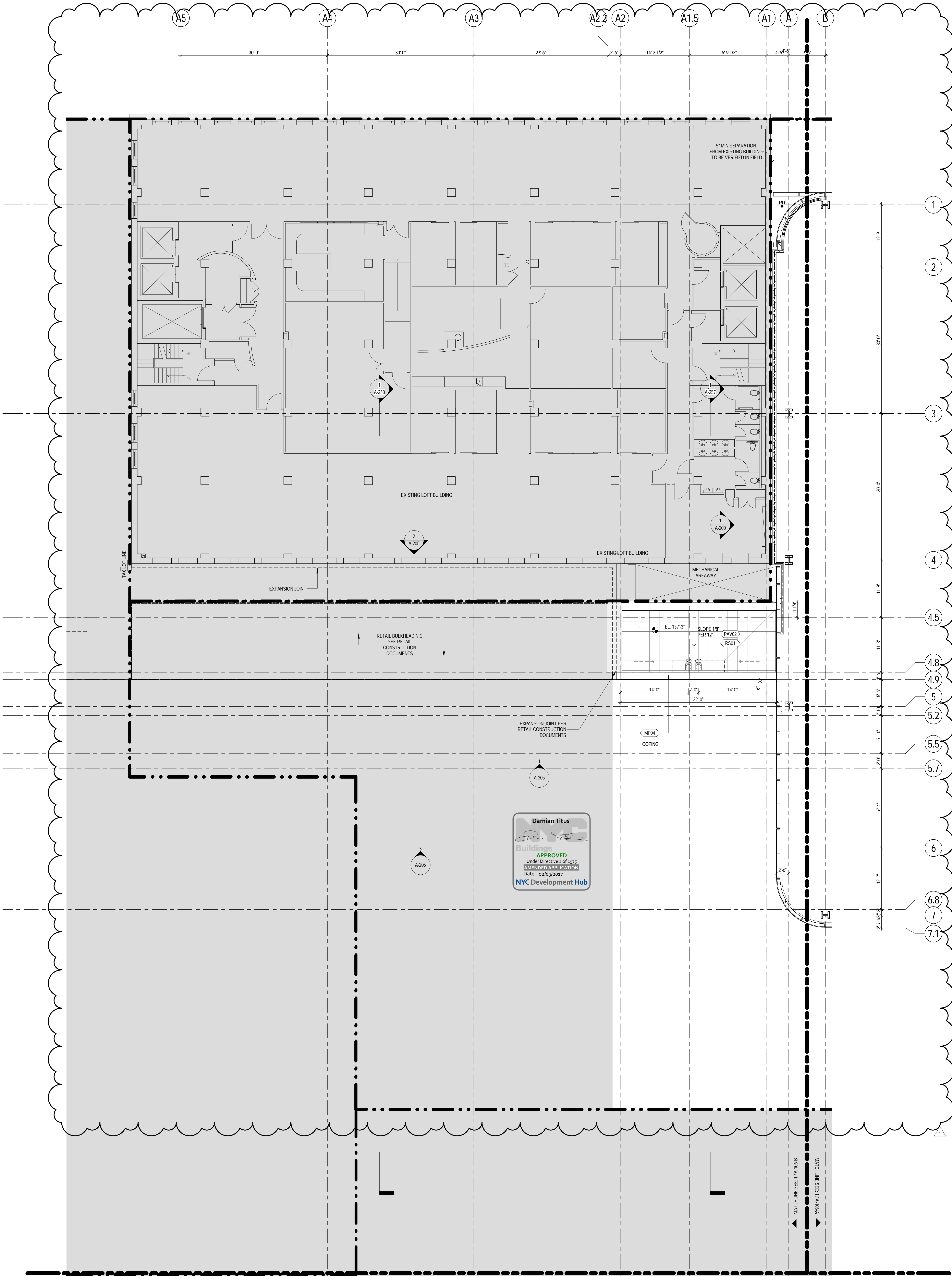
B-SCAN Sheet No.: A-185.00  
Sheet No.: A-105-B  
Page No.: 21 OF 33





Page No.:






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5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
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25. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.6 & 1026 OF THE NEW YORK CITY BUILDING CODE.
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28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

## SHEET NOTES

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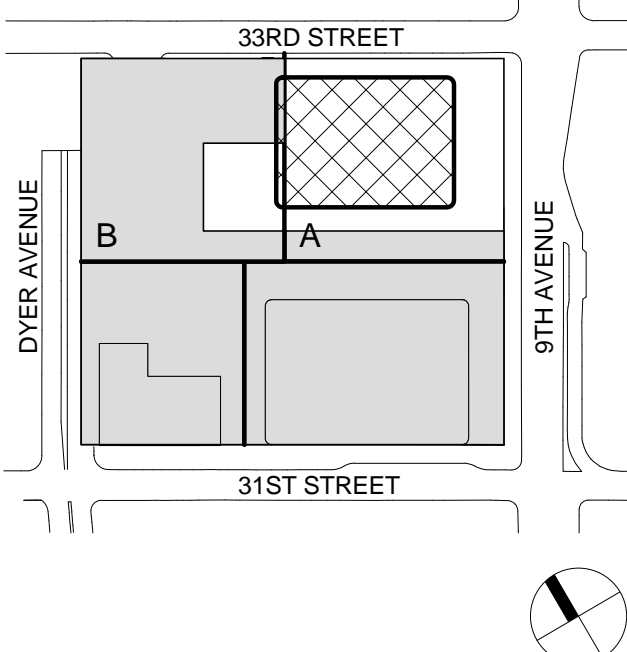
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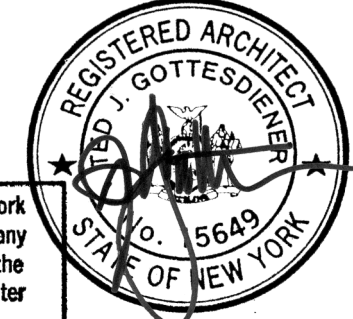
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1. 22 APR 2016 ISSUED FOR PIA

No. Date Description

Sheet Name

**LEVEL 6-16  
FLOOR PLAN -  
PART B**

Project No.:

207150

Date:

22 APR 2016

Scale:

1/8" = 1'-0"

File No.:

106-B

B-SCAN Sheet No.:

A-186.00

Sheet No.:

A-106-B

Page No.:

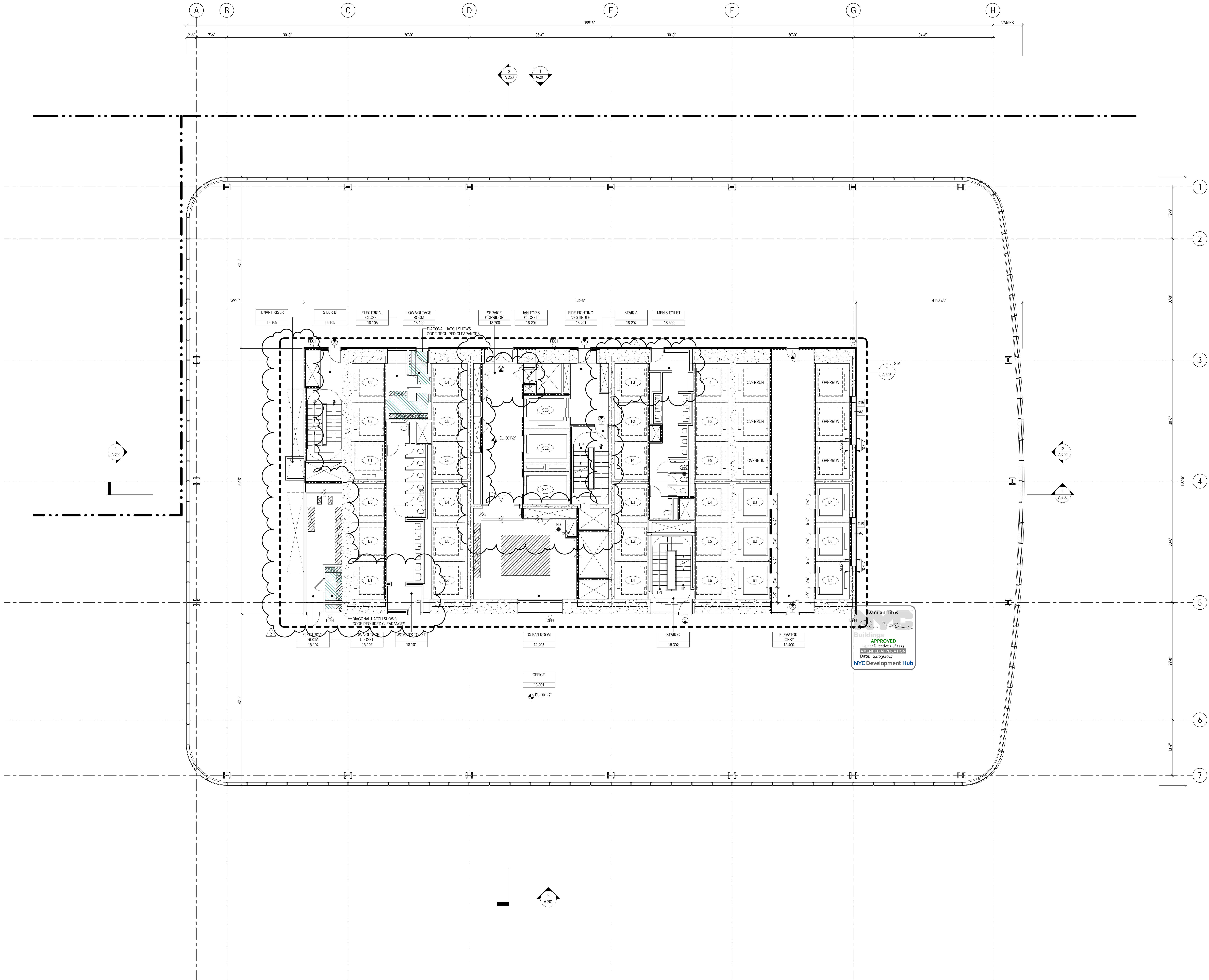
106-B



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Page No.: 29 OF 30





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Field Operations  
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Security Consultant

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Blast Consultant

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Acoustical Consultant

Cerami & Associates  
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Vibration Consultant

Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant

Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

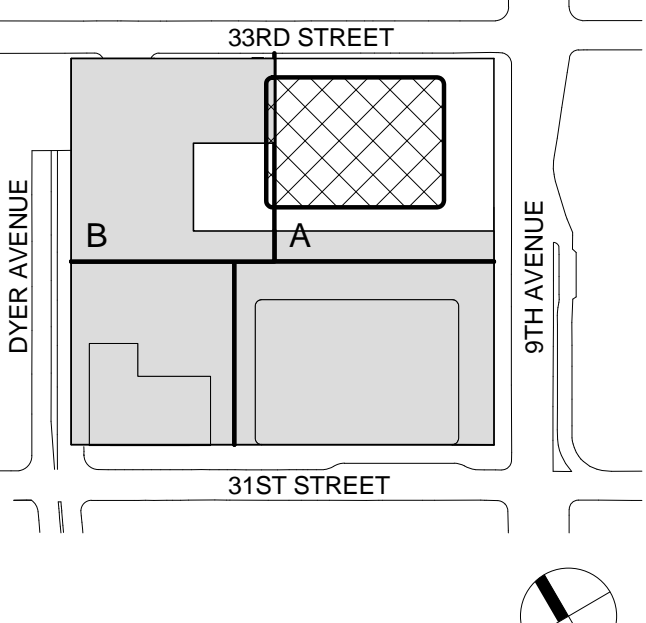
Facade Maintenance Consultant

Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1R8

Key Plan:



Seal & Signature

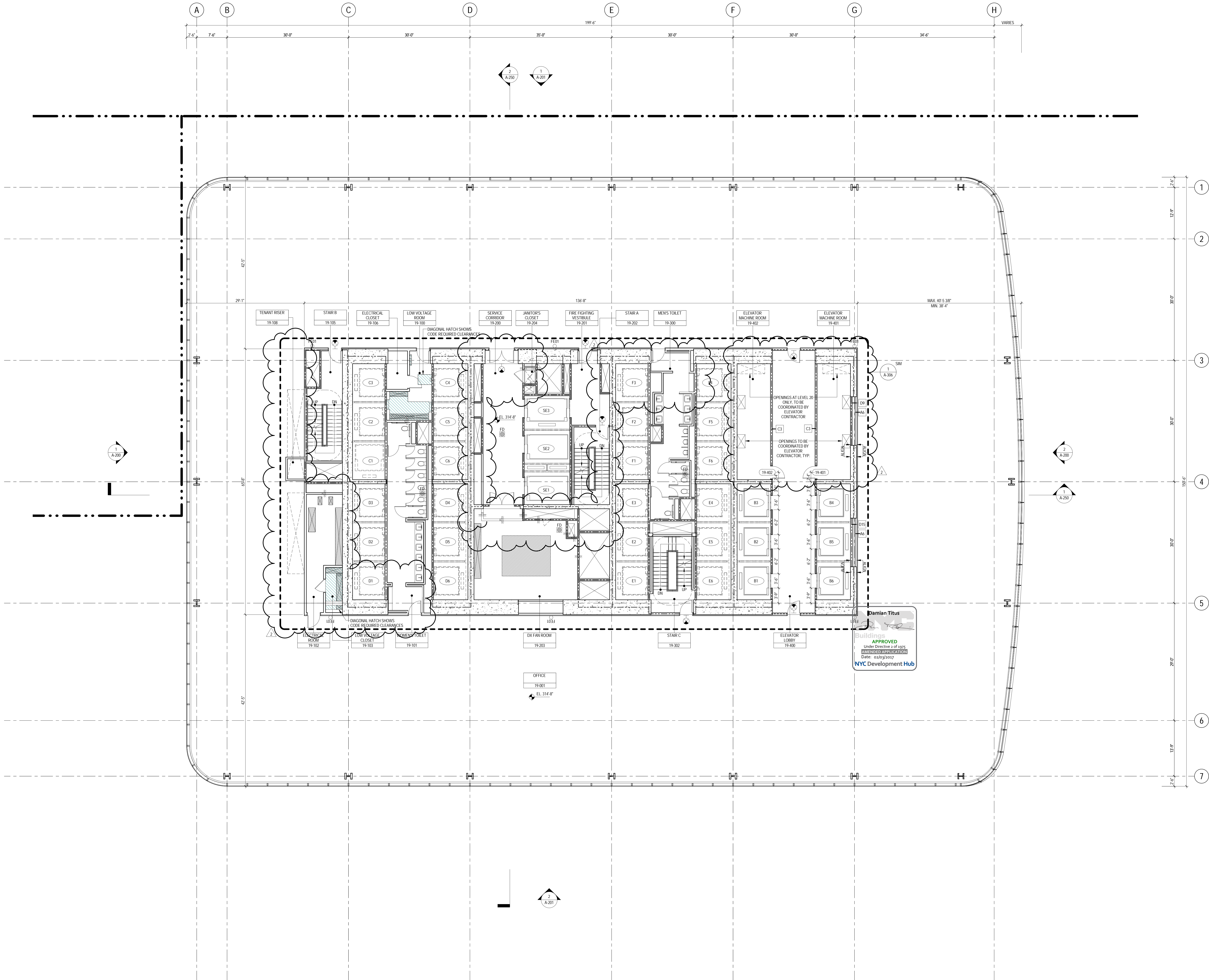


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2	22 APR 2016 ISSUED FOR P&A
1	07 OCT 2015 ISSUED FOR BUILDING PERMIT
No.	Date Description
Sheet Name:	

**LEVEL 18 FLOOR  
PLAN - LOW-RISE  
OVERRUN**

Project No.: 207150	B-SCAN Sheet No.: A-118.02
Date: 22 APR 2016	Sheet No.: A-118
Scale: 1/8" = 1'-0"	Page No.: 30 OF
File No.: A-118	





## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-05.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. C-08.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE DV, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/ASE/CELT SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LEFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2009 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SUBBORROWING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-05.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
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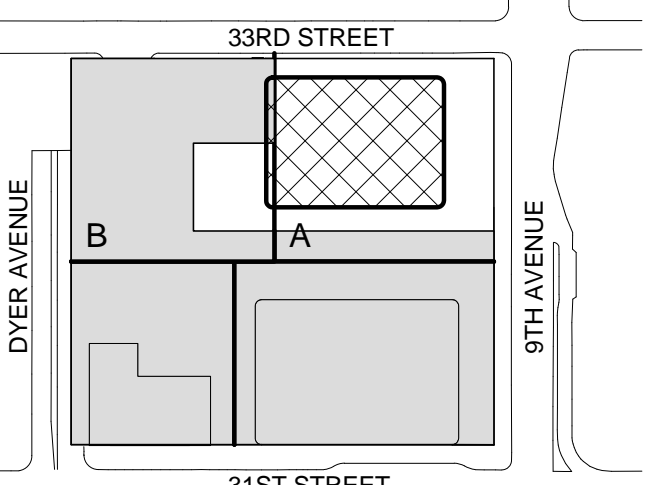
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Key Plan:



Seal & Signature



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2 22 APR 2016 ISSUED FOR PAA  
1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**LEVEL 19-20  
FLOOR PLAN -  
LOW-RISE EMR**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-119  
B-SCAN Sheet No.: A-119.02  
Sheet No.: A-119  
Page No.: 31 OF



A-121



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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-06.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
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29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.



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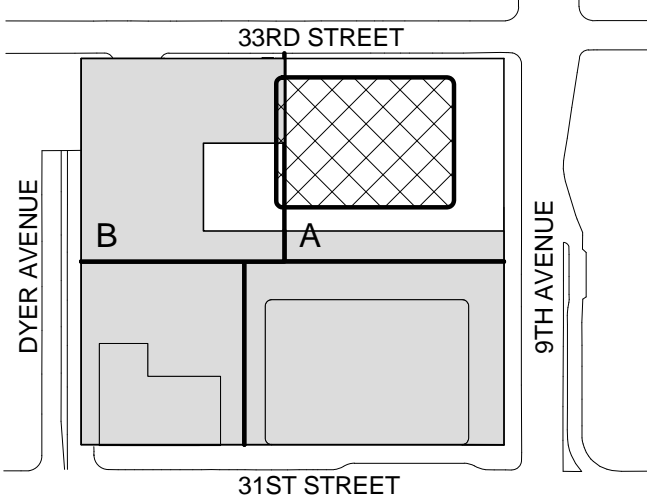
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Key Plan:



Seal & Signature



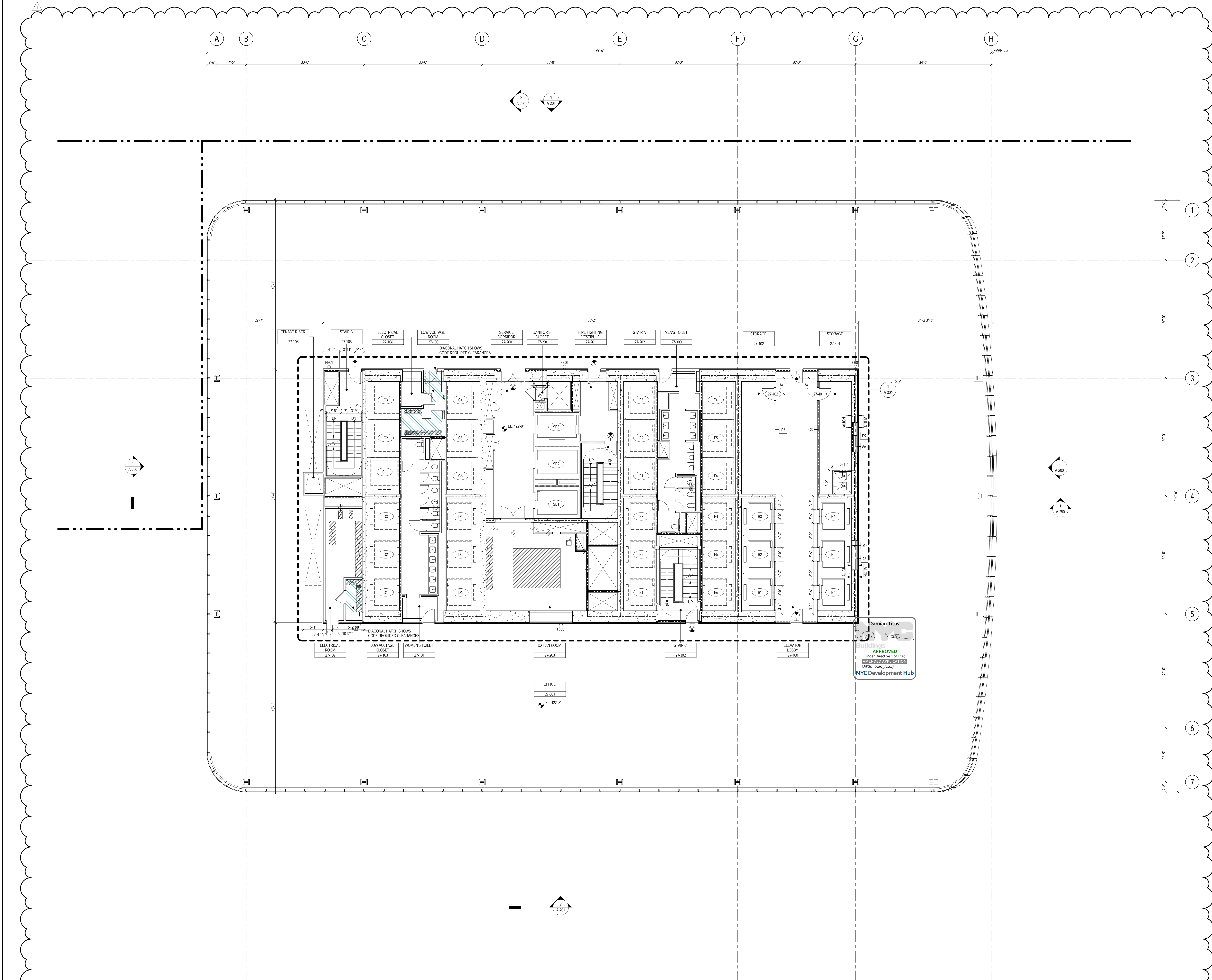
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1. 22 APR 2016 ISSUED FOR PIA  
No. Date Description  
Sheet Name

**LEVEL 26 FLOOR  
PLAN - LOW-RISE**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: 1.128  
B-SCAN Sheet No.: A-126.00  
Sheet No.: A-126  
Rev. No.





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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. C-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
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26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
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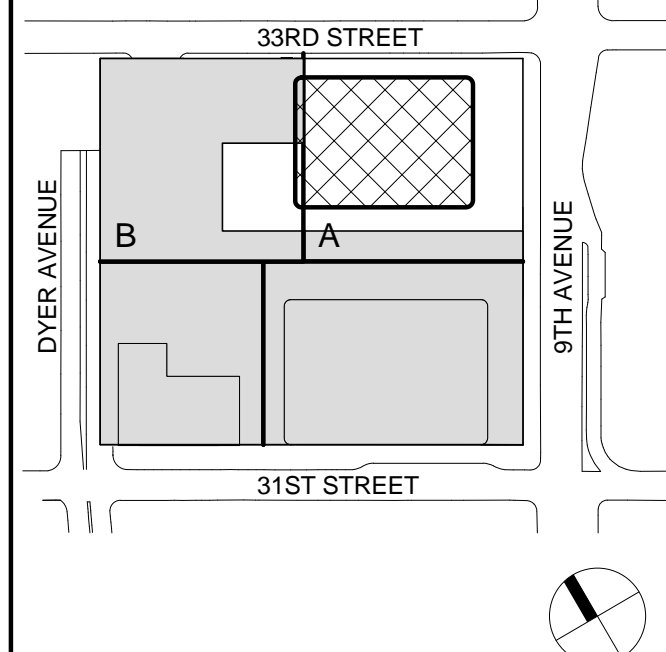
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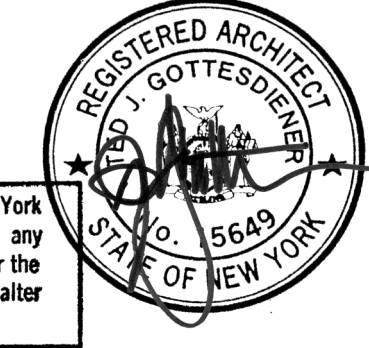
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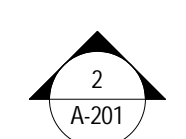
1. 22 APR 2016 ISSUED FOR P&A  
No. 207150  
Project Name: 401

**LEVEL 27 FLOOR  
PLAN - LOW-RISE**

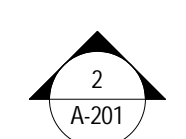
Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
Sheet No.: A-127  
Page No.: 1

B-SCAN Sheet No.:  
**A-127.00**



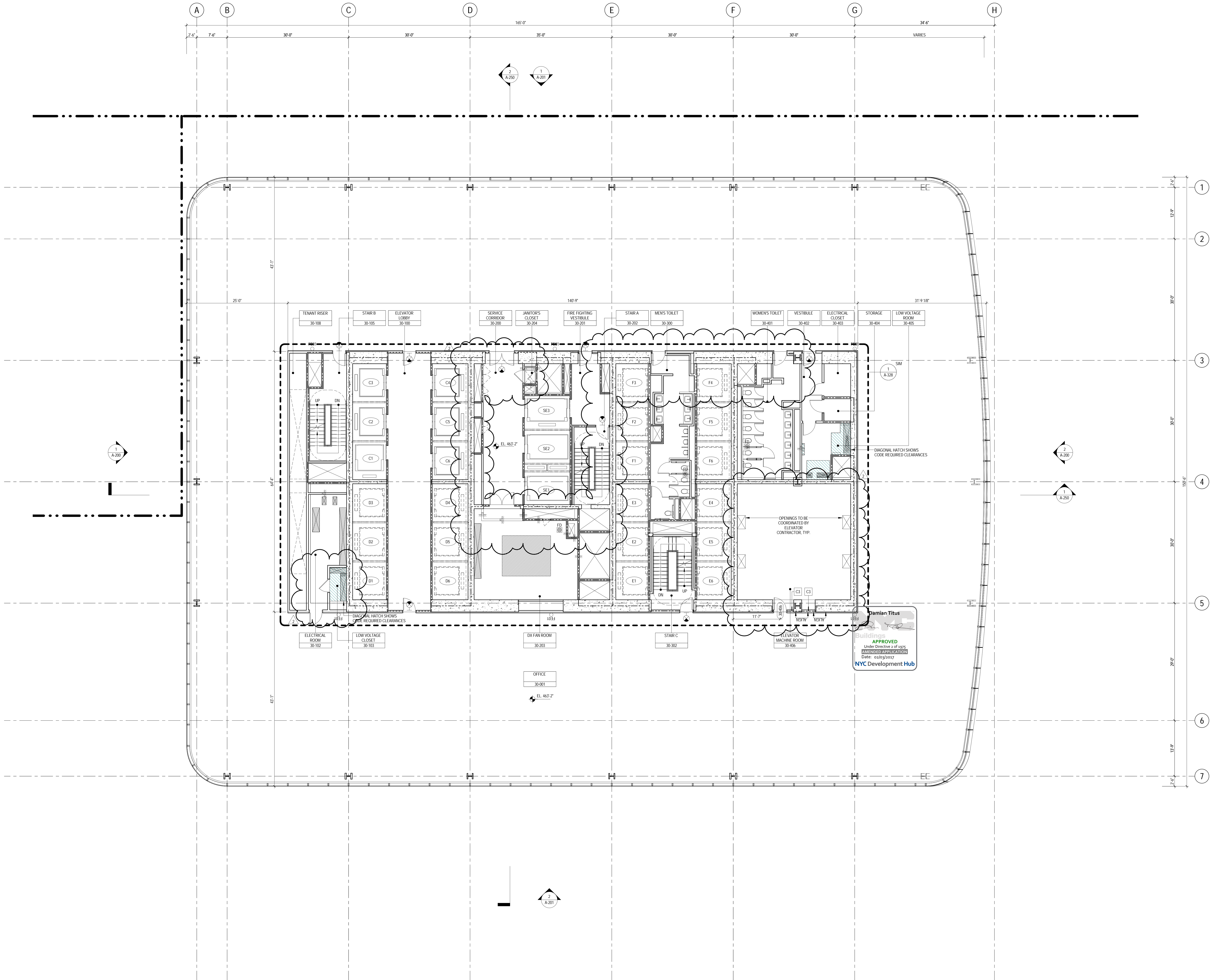






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|-------------------|----------|
| B-SCAN Sheet No.: | A-129.02 |
| Sheet No.:        | A-129    |
| Page No.:         | 34 OF    |





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21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS, PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
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25. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1028 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
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29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.



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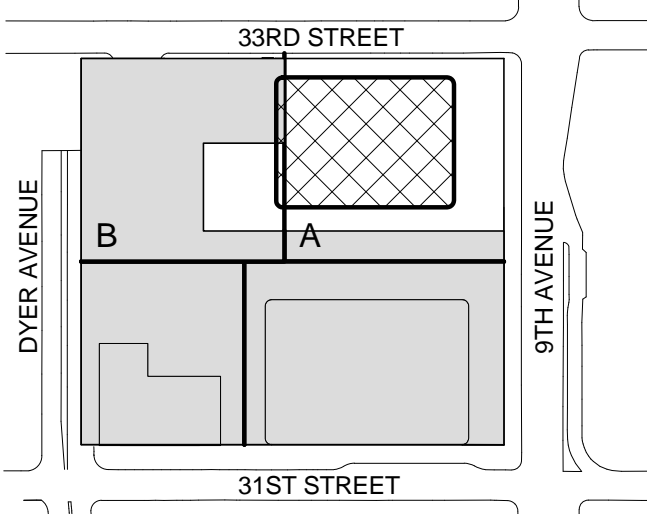
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Key Plan:



Seal & Signature



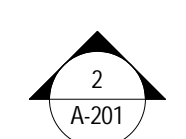
Warning: It is a violation of the New York State Architecture Law, §16-150 for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

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1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**LEVEL 30 FLOOR  
PLAN - MID-RISE  
EMR**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-130  
B-SCAN Sheet No.: A-130.02  
Sheet No.: A-130  
Page No.: 35 OF





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| Page No.:<br>A-131 | Page No.:<br>33 of 37 |
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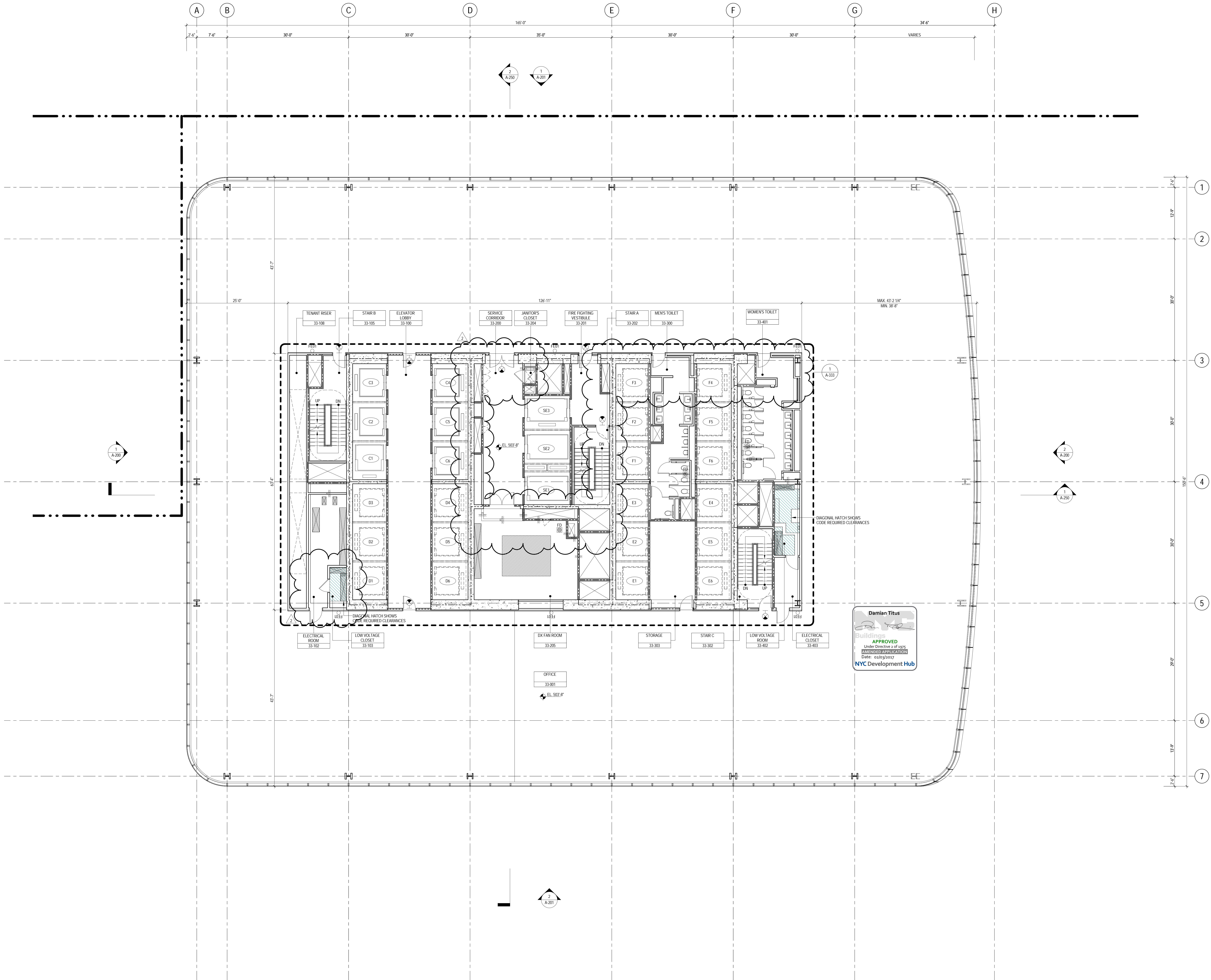
Page No.: A-131	Page No.: 33 of 37
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- Page No.: 37 OF





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3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE DR, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP DRAWING SET/CEILING SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CODE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM RISER AND EQUIPMENT DESIGNATIONS.
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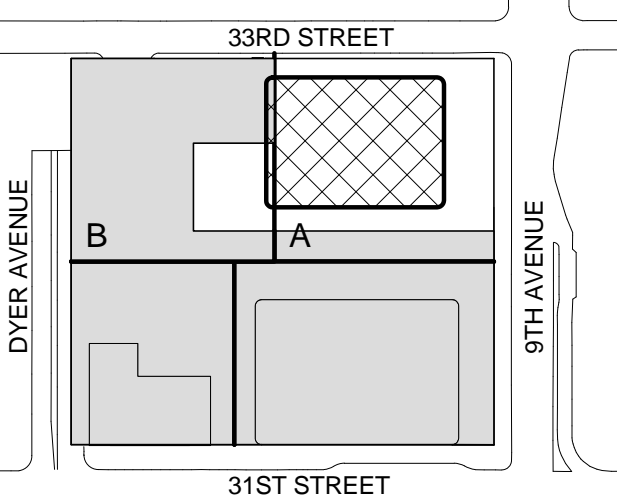
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Key Plan:



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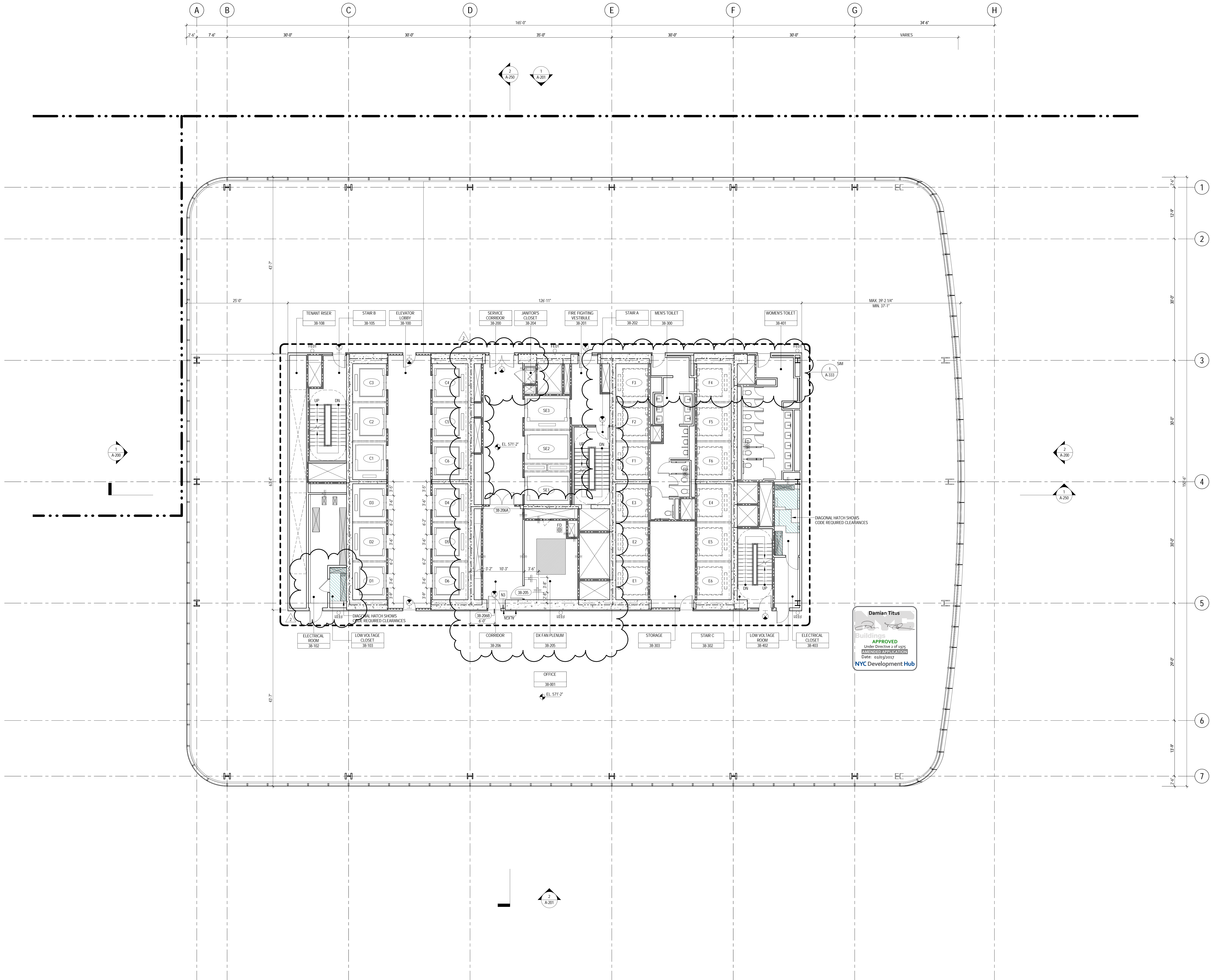
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2 22 APR 2016 ISSUED FOR PAA  
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No. Date Description  
Sheet Name:

**LEVEL 33-37  
FLOOR PLAN -  
TYPICAL  
MID-RISE**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-133  
B-SCAN Sheet No.: A-133.02  
Sheet No.: A-133  
Page No.: 38 OF





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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-06.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF ACP IS NOT PROVIDED SEE MEPP/ASEC/TEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
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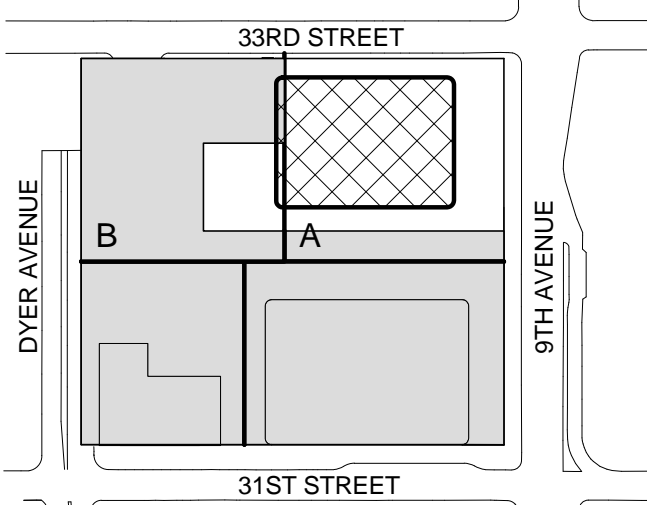
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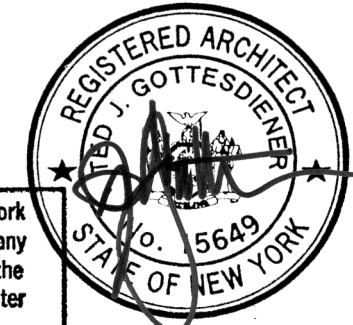
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Key Plan:



Seal & Signature



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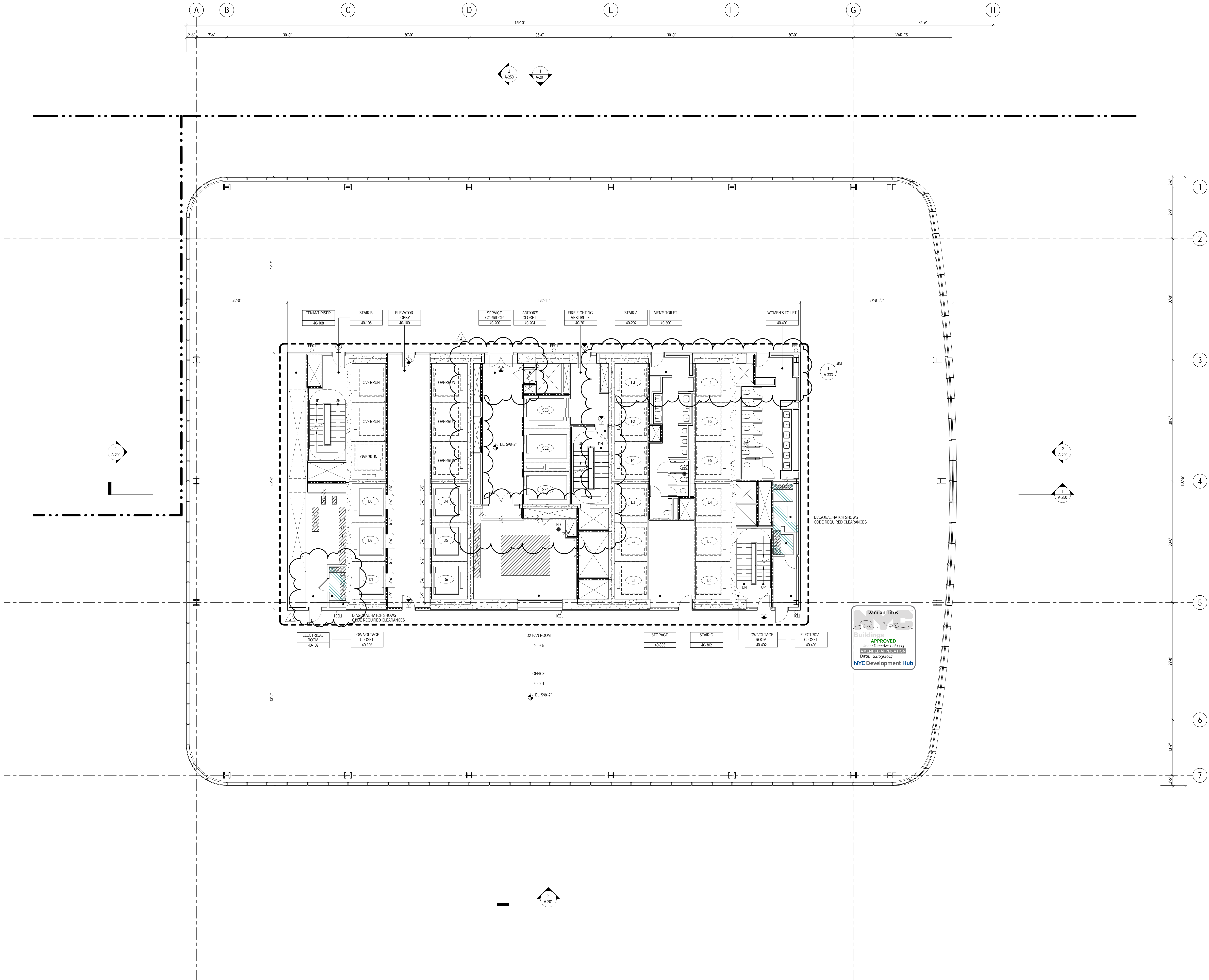
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No. Date Description  
Sheet 1 of 1

**LEVEL 38-39  
FLOOR PLAN -  
MID-RISE**

Project No.: 207120  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"

B-SCAN Sheet No.: A-138.02  
Sheet No.: A-138  
Page No.: 38 of 38





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5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
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8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT, NOT PROVIDED, SEE MEPPF AS SETCEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
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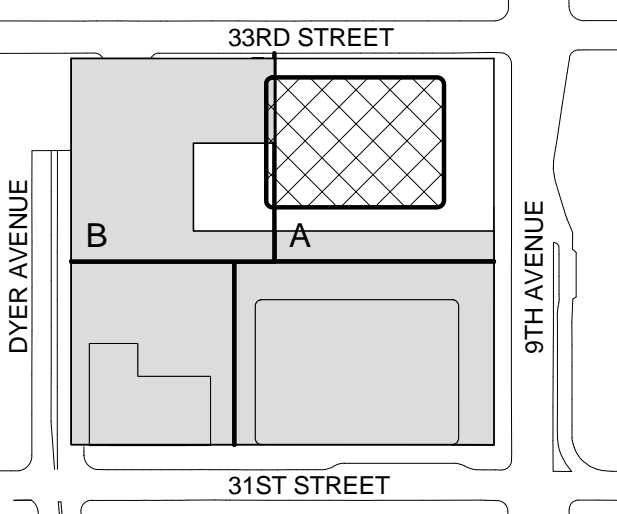
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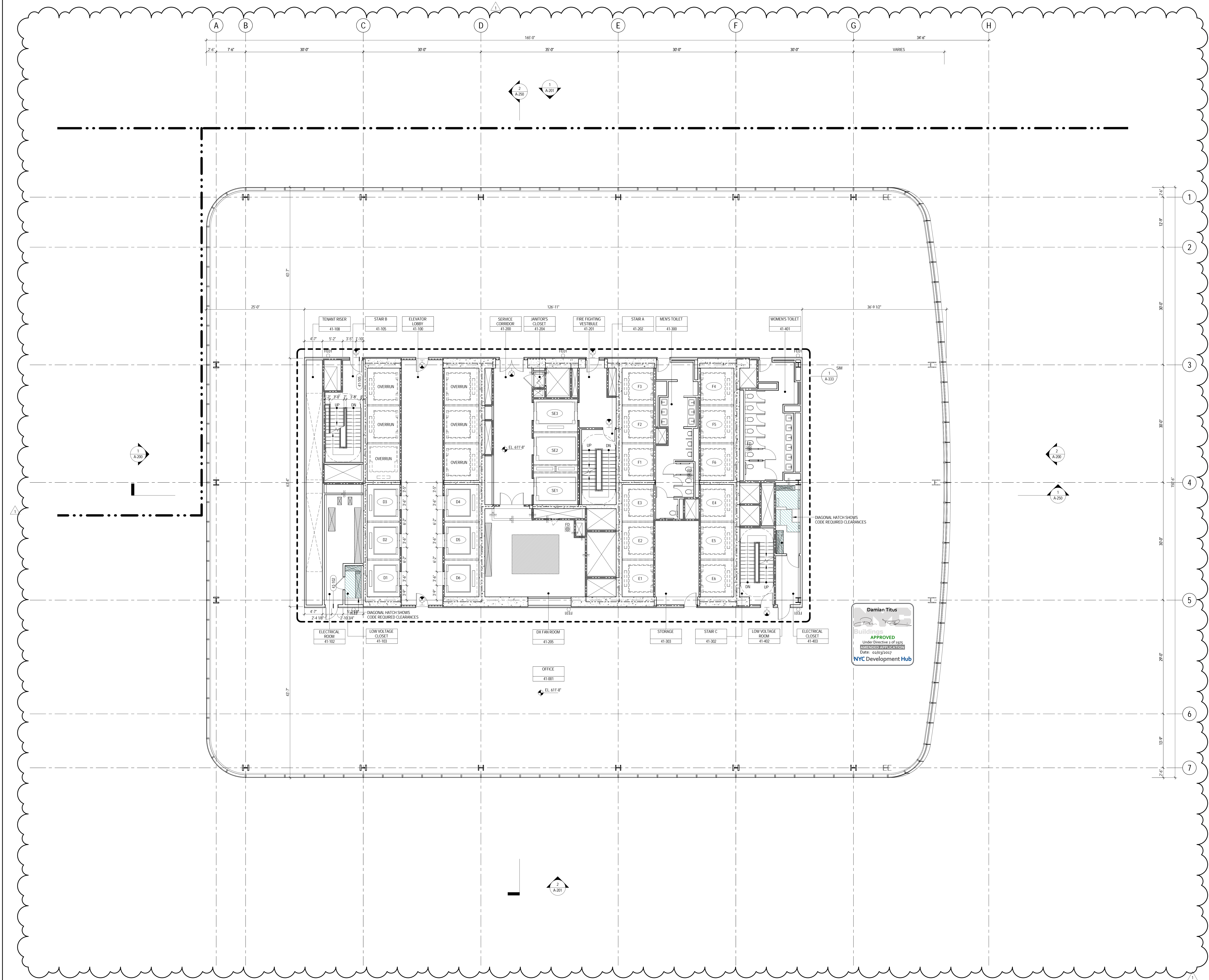
Warning: It is a violation of the New York State Architecture Law, §16-150 for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

2 22 APR 2016 ISSUED FOR PAA  
1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**LEVEL 40 FLOOR  
PLAN - MID-RISE  
OVERRUN**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-140  
B-SCAN Sheet No.: A-140.02  
Sheet No.: A-140  
Page No.: 40 OF 40





## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-00.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-00.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/ASECEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LEFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2009 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING DEPARTMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1002.1 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE A WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEET PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-00.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
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29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.



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Cerami & Associates  
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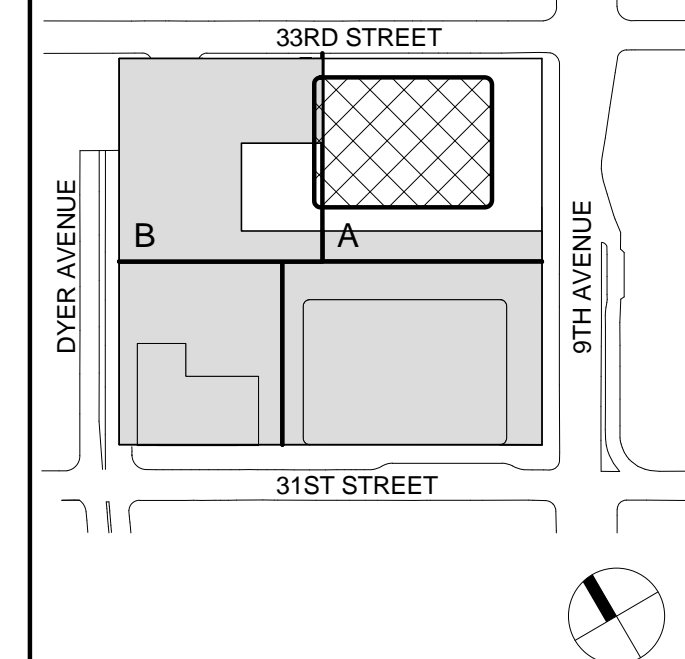
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Code Consultants Professional Engineers PC  
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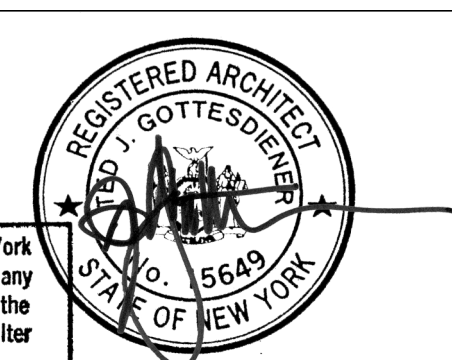
Facade Maintenance Consultant  
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186 Ames Street, Hackensack, NJ 07601

Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:



Seal & Signature



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1. 22 APR 2016 ISSUED FOR PIA

No. Date Description  
Sheet Name

**LEVEL 41 FLOOR  
PLAN - MID-RISE  
OVERRUN**

Subject No.: 207150

Date: 22 APR 2016

Scale: 1/8" = 1'-0"

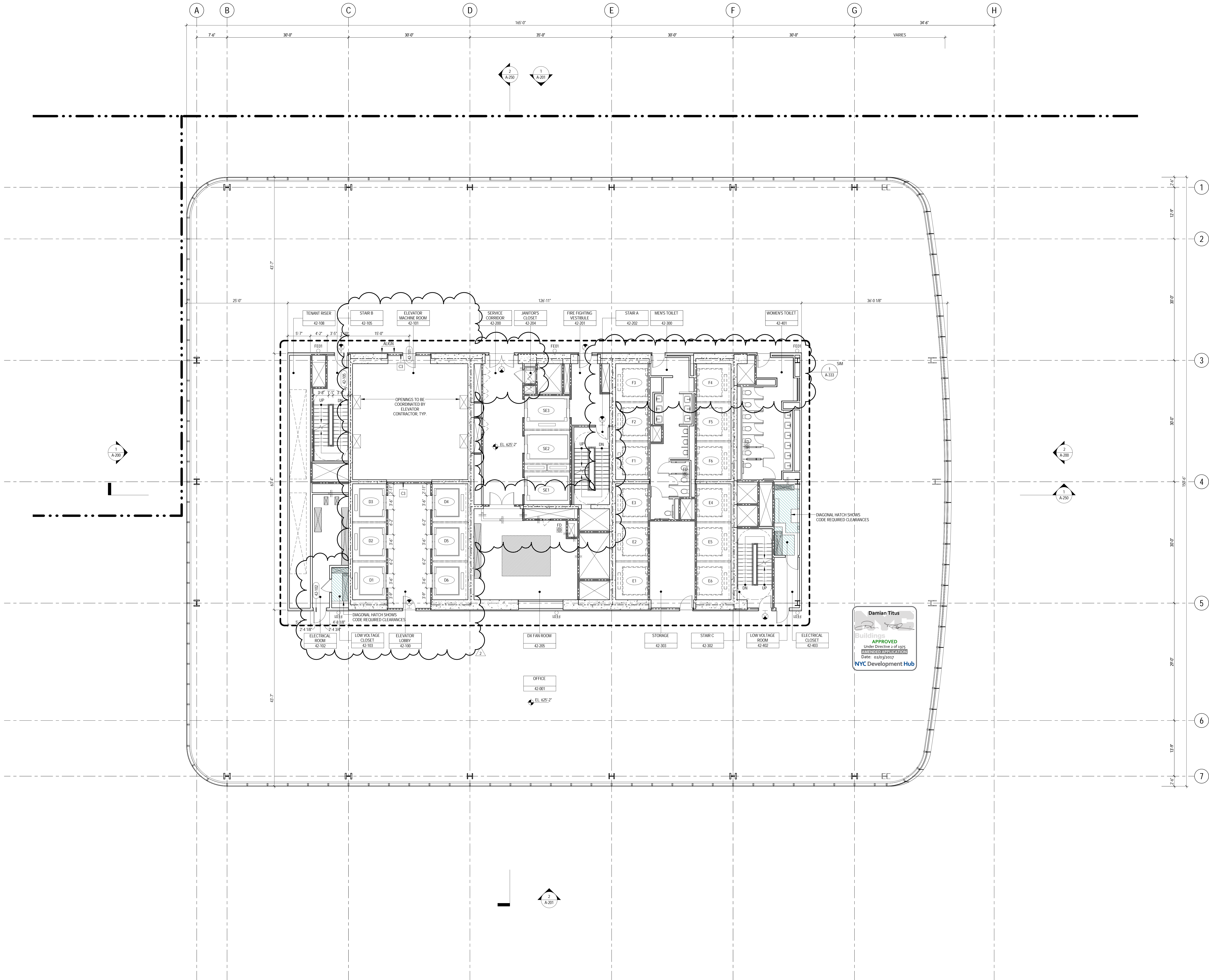
File No.: A-141

B-SCAN Sheet No.: A-141.00

Sheet No.: A-141

Page No.: 1





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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-06.
5. FOR ROOM/FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP'S NOT PROVIDED SEE MEPP/ASEC/TEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
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27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
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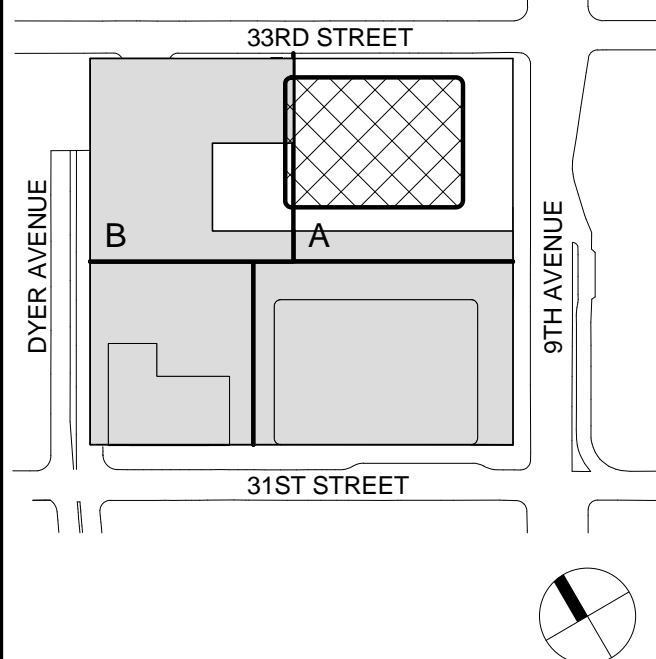
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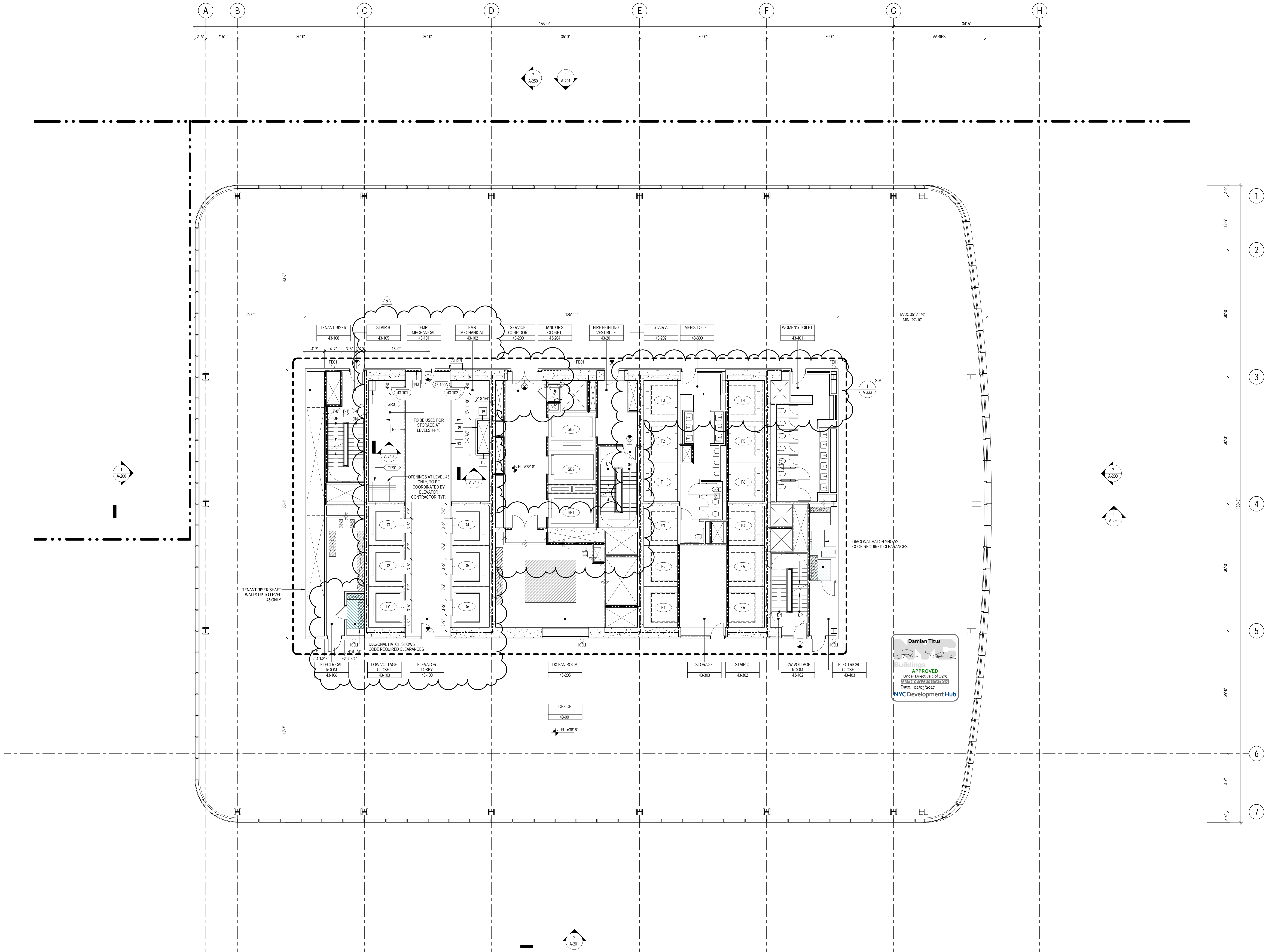
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2 22 APR 2016 ISSUED FOR PAA  
1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**LEVEL 42 FLOOR  
PLAN - MID-RISE  
EMR**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-142  
B-SCAN Sheet No.: A-142.02  
Sheet No.: A-142  
Page No.: 41 OF





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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-08a.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPF AS SET/SET SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPF DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
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20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
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25. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-05.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
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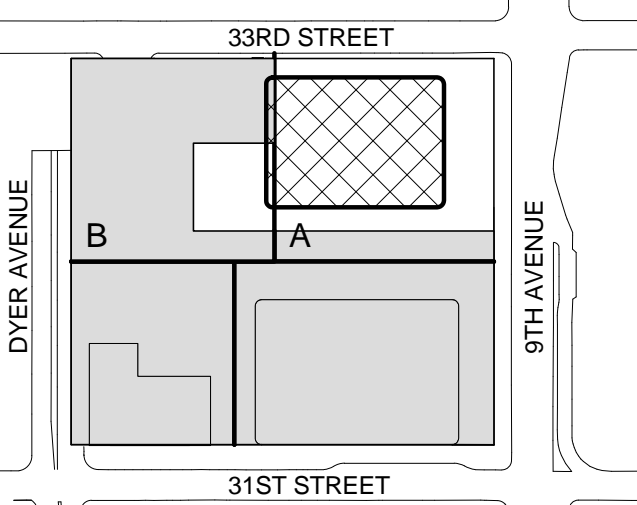
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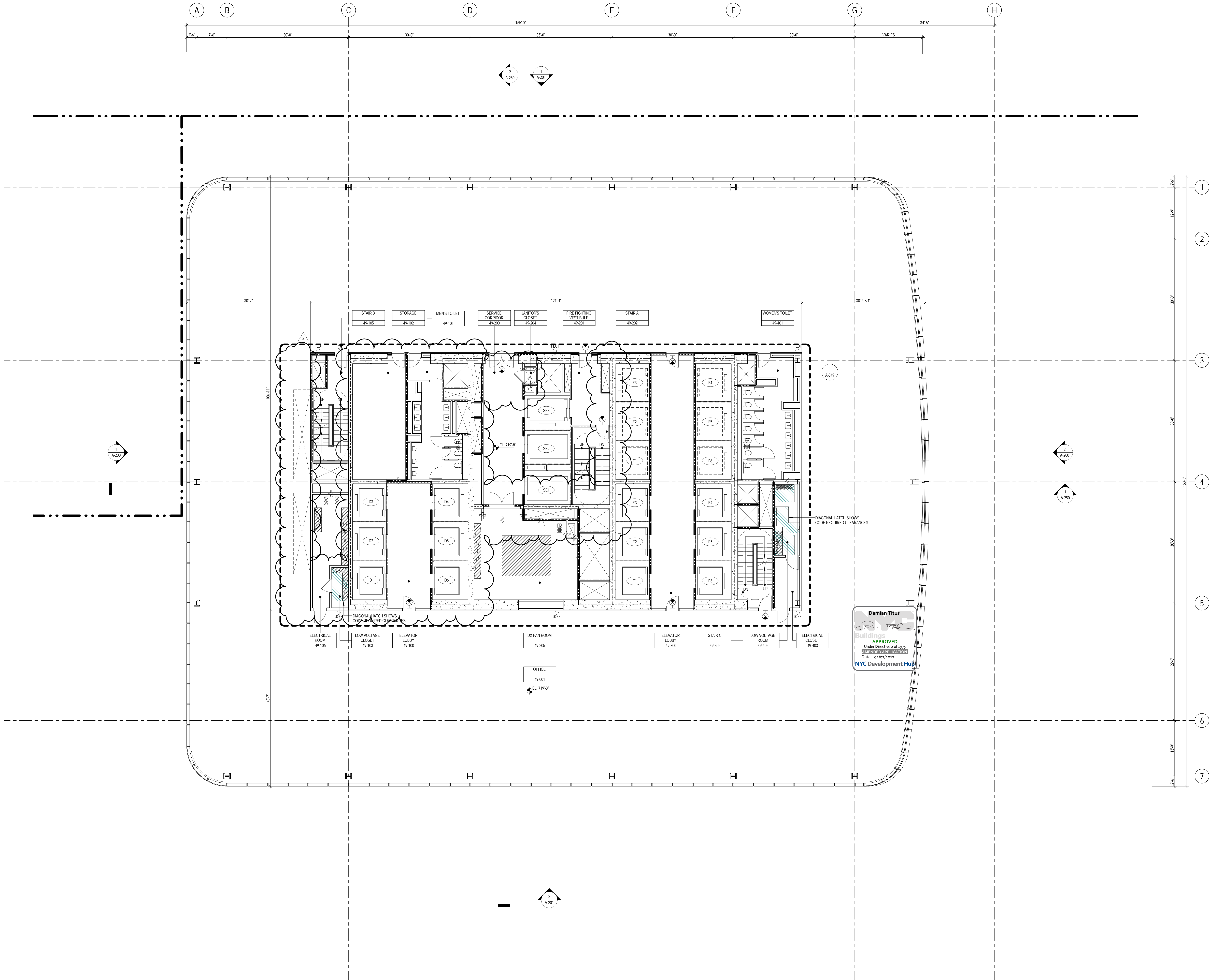
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No.	Date	Description
2	22 APR 2016	ISSUED FOR PAA
1	07 OCT 2015	ISSUED FOR BUILDING PERMIT

**LEVEL 43-48  
FLOOR PLAN -  
TYPICAL  
MID-RISE**

Project No.:	B-SCAN Sheet No.:
207150	A-143.02
Date:	22 APR 2016
Scale:	1/8" = 1'-0"
File No.:	A-143
Page No.:	42 OF 42





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3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. C-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
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8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
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28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.



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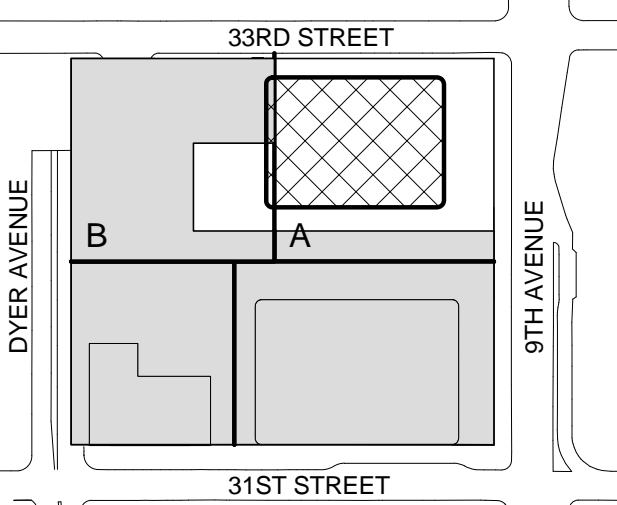
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Key Plan:



Seal & Signature



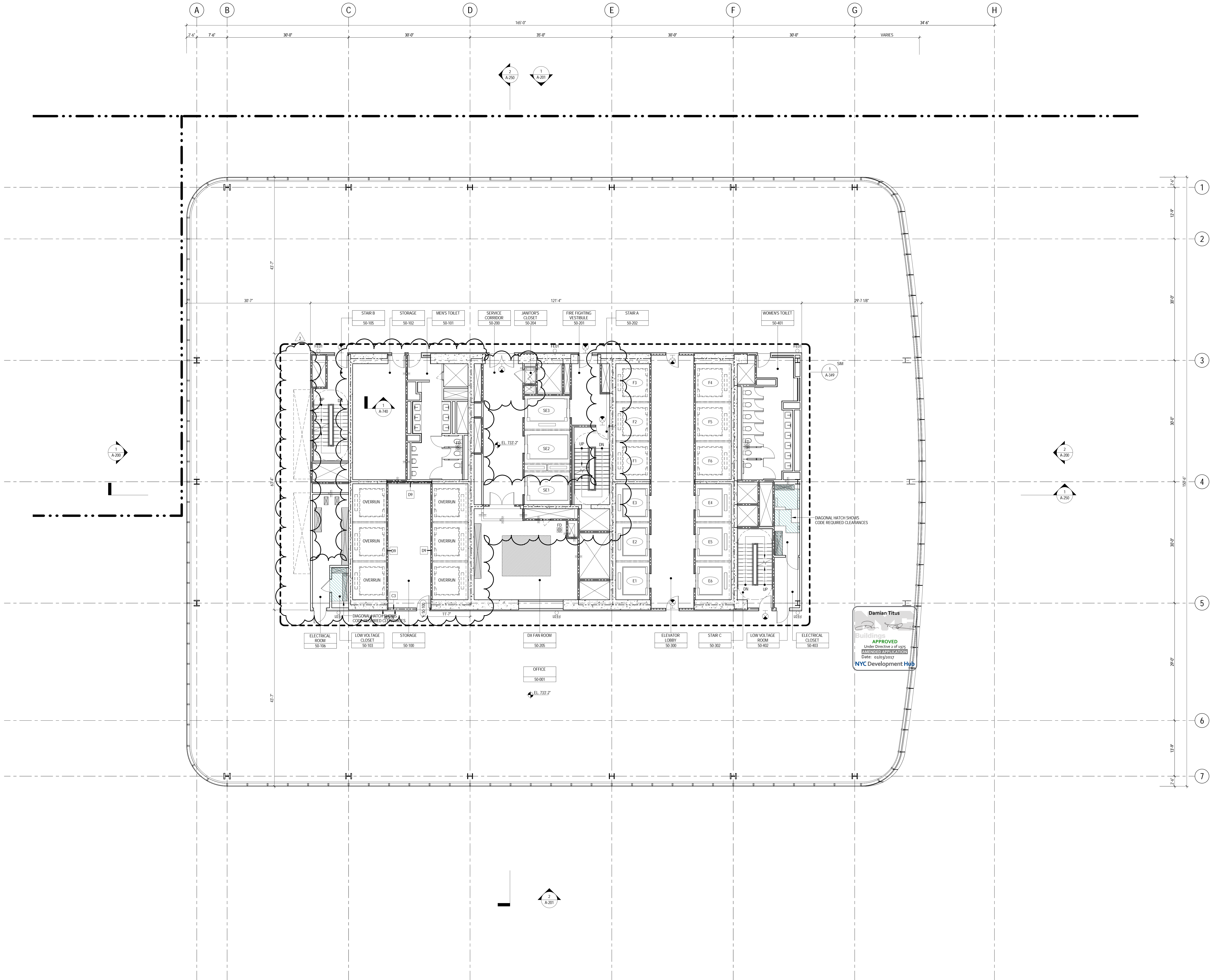
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2 22 APR 2016 ISSUED FOR PAA  
1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**LEVEL 49 FLOOR  
PLAN - MID-RISE  
& HIGH-RISE**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-149  
B-SCAN Sheet No.: A-149.02  
Sheet No.: A-149  
Page No.: 43 OF





# GENERAL NOTES

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6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
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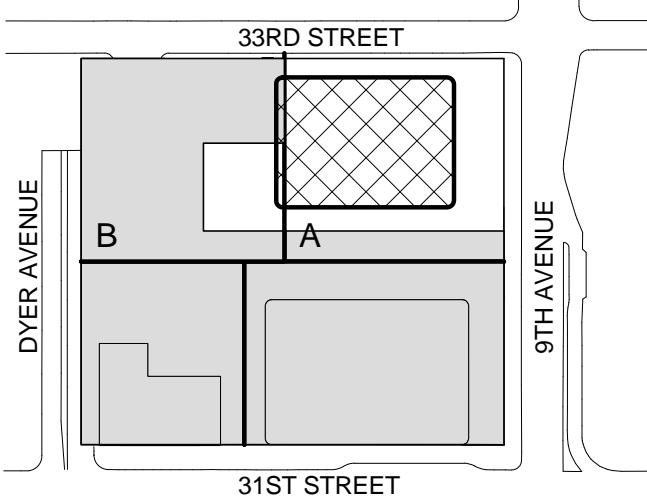
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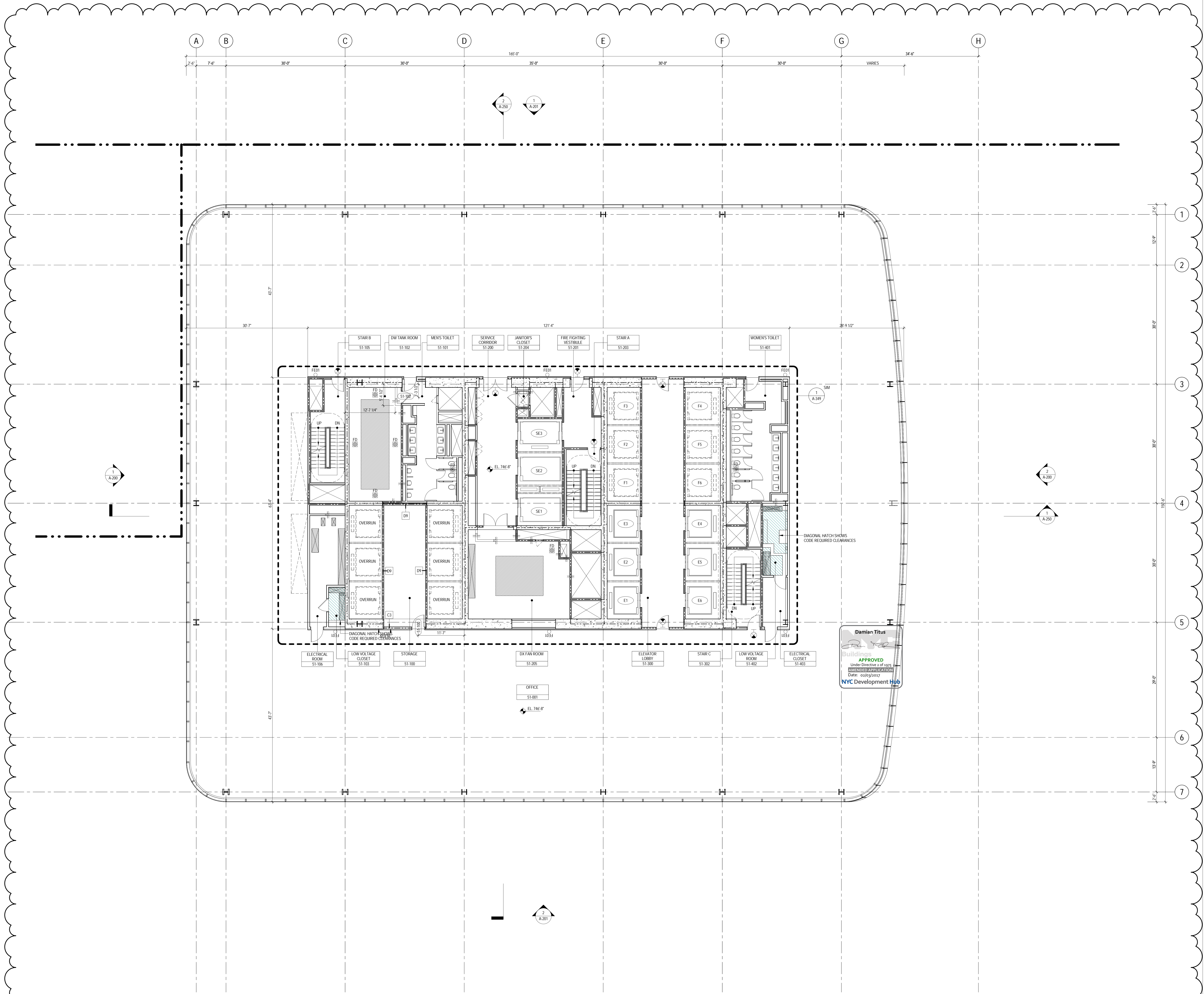


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Project No.: 207150	B-SCAN Sheet No.: A-150.02
Date: 22 APR 2016	Sheet No.: A-150
Scale: 1/8" = 1'-0"	Page No.: 44 OF 47
File No.: A-150	


**LEVEL 50 FLOOR  
PLAN - HIGH-RISE  
OVERRUN**





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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-06.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
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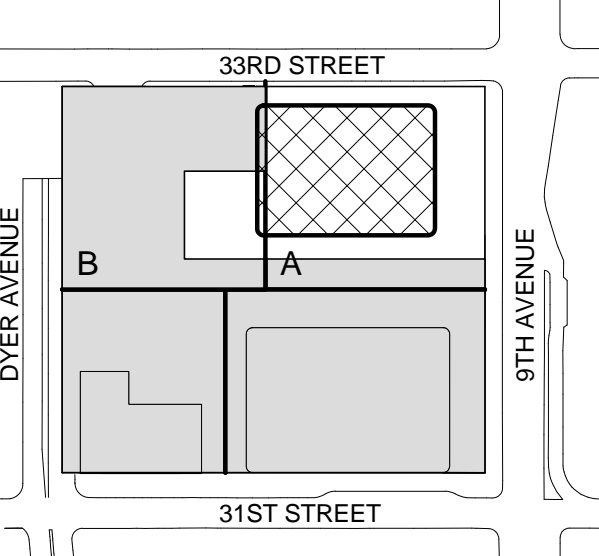
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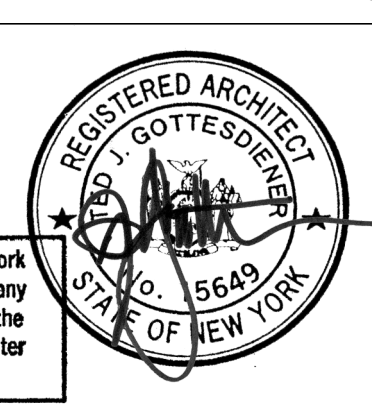
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Key Plan:



Seal & Signature:



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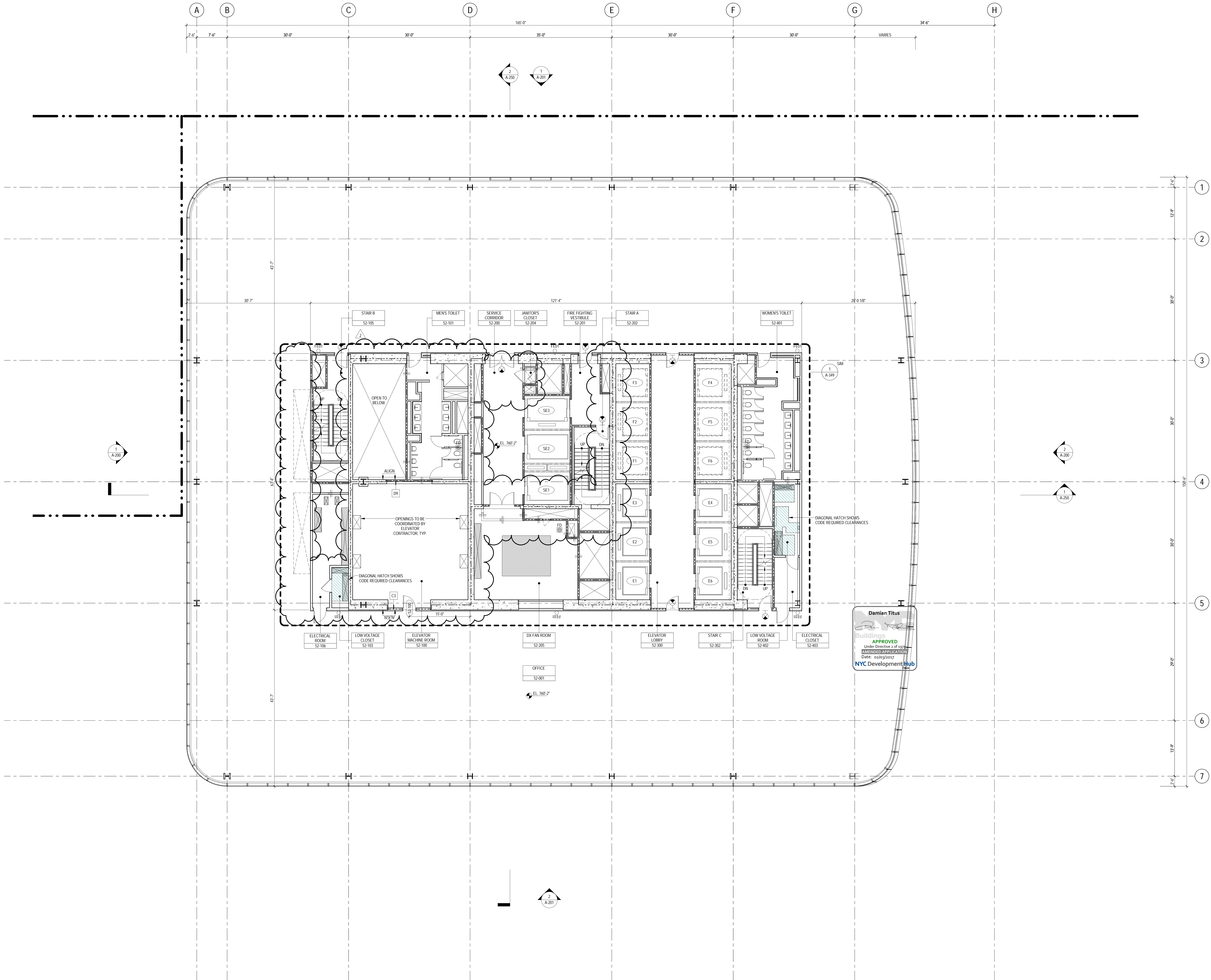
No.	Date	Issued For	Description
1	22 APR 2016	ISSUED FOR P&A	

**LEVEL 51 FLOOR PLAN - HIGH-RISE WATER TANK**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
Sheet No.: A-151

B-SCAN Sheet No.: A-151.00  
Page No.: 151





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6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
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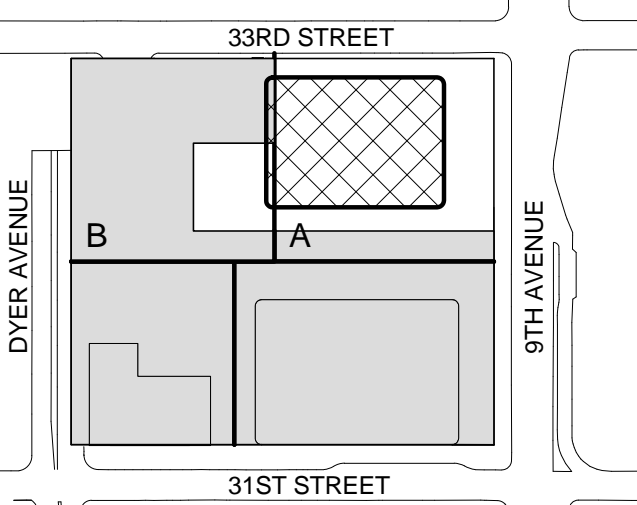
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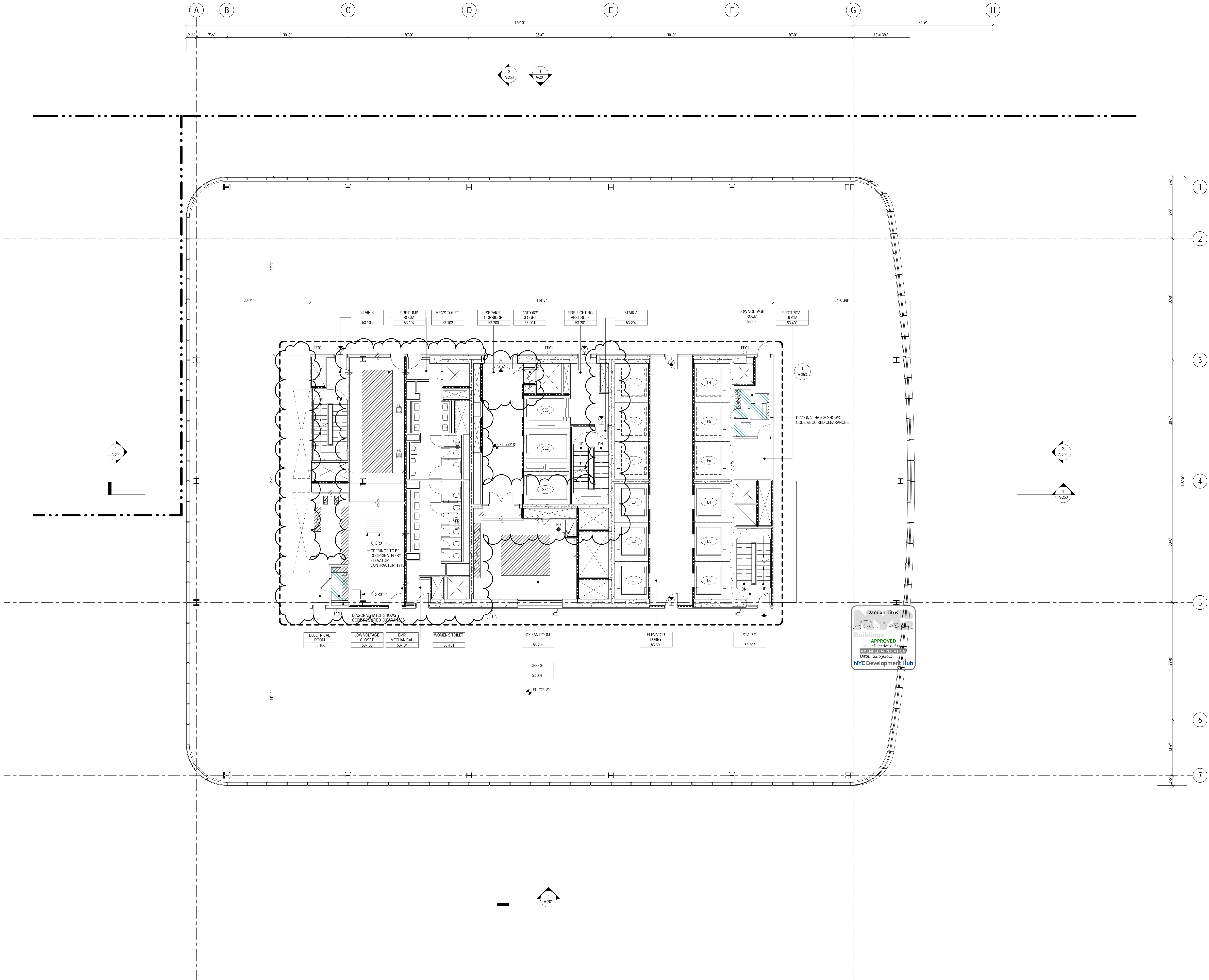
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2 22 APR 2016 ISSUED FOR PAA  
1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**LEVEL 52 FLOOR  
PLAN - HIGH-RISE  
EMR**


Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-152  
B-SCAN Sheet No.: A-152.02  
Sheet No.: A-152  
Page No.: 45 OF 46






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12. REFER TO MEPP/FAC/SET/CEILING SERVICE DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
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26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
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Code Consultants Professional Engineers PC  
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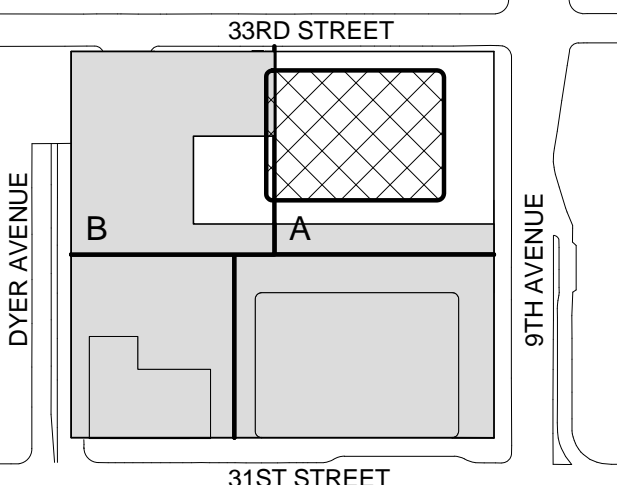
Facade Maintenance Consultant

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650 Woodlawn Road West, Guelph Ontario, Canada N1K 1B8

Key Plan:



Seal & Signature



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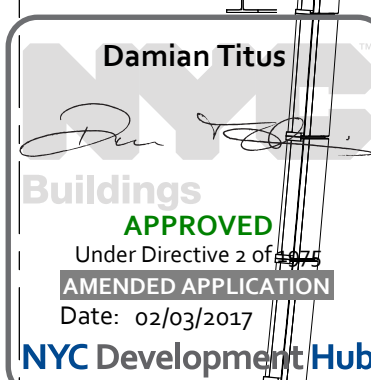
No.	Date	Issued For	Description
1	22 APR 2016	ISSUED FOR PIA	

Sheet Name:

**LEVEL 53 FLOOR  
PLAN - HIGH-RISE  
PUMP ROOM**

Project No.: 207150	B-SCAN Sheet No.: <b>A-153.02</b>
Date: 22 APR 2016	Sheet No.: A-153
Scale: 1/8" = 1'-0"	Page No.: 46 OF
File No.: A-153	

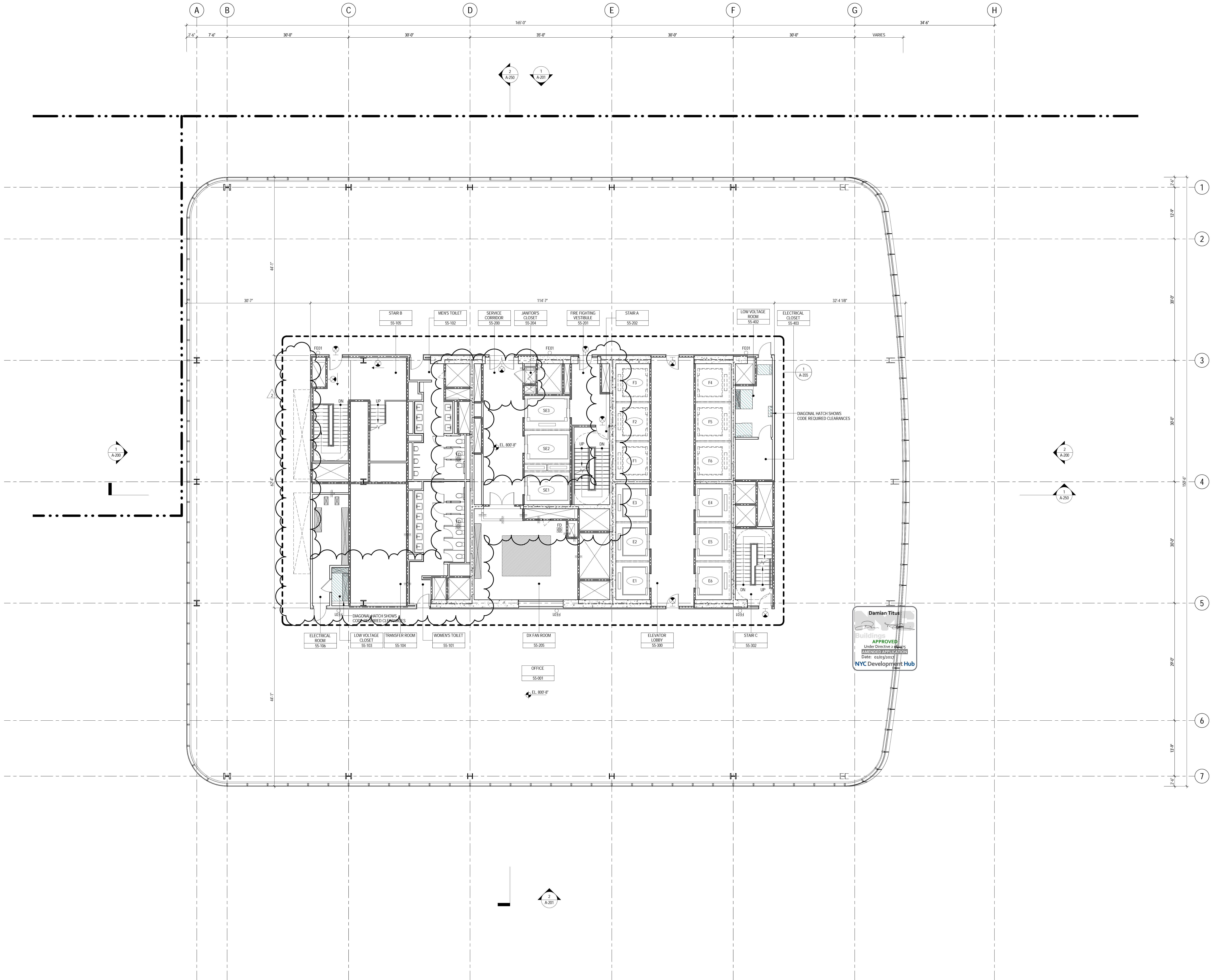




- Ontario, Canada N1K 1B8

Project No.: 207120	B-SCAN Sheet No.:  <h1>A-154.02</h1>
Date: 22 APR 2016	
Scale: 1/8" = 1'-0"	
File No.:	Sheet No.:  <h2>A-154</h2>
Page No.:	47 OF





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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-06.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE DN, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-400 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPF A-300L SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
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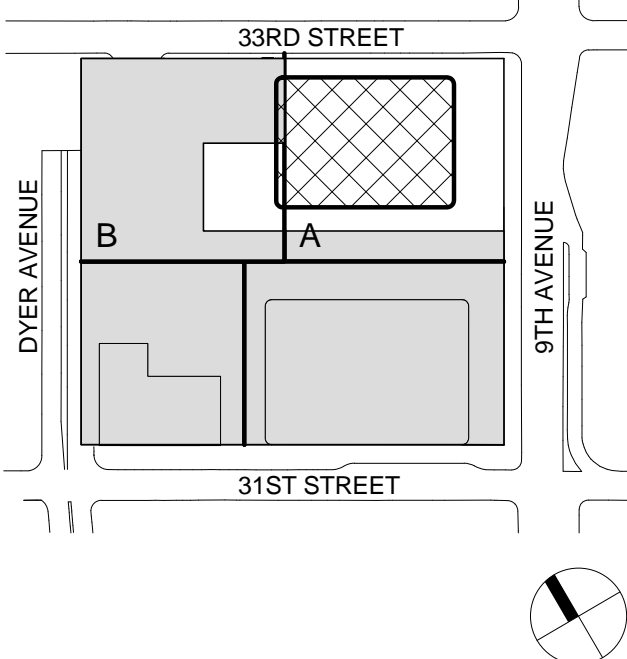
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Key Plan:



Seal & Signature:



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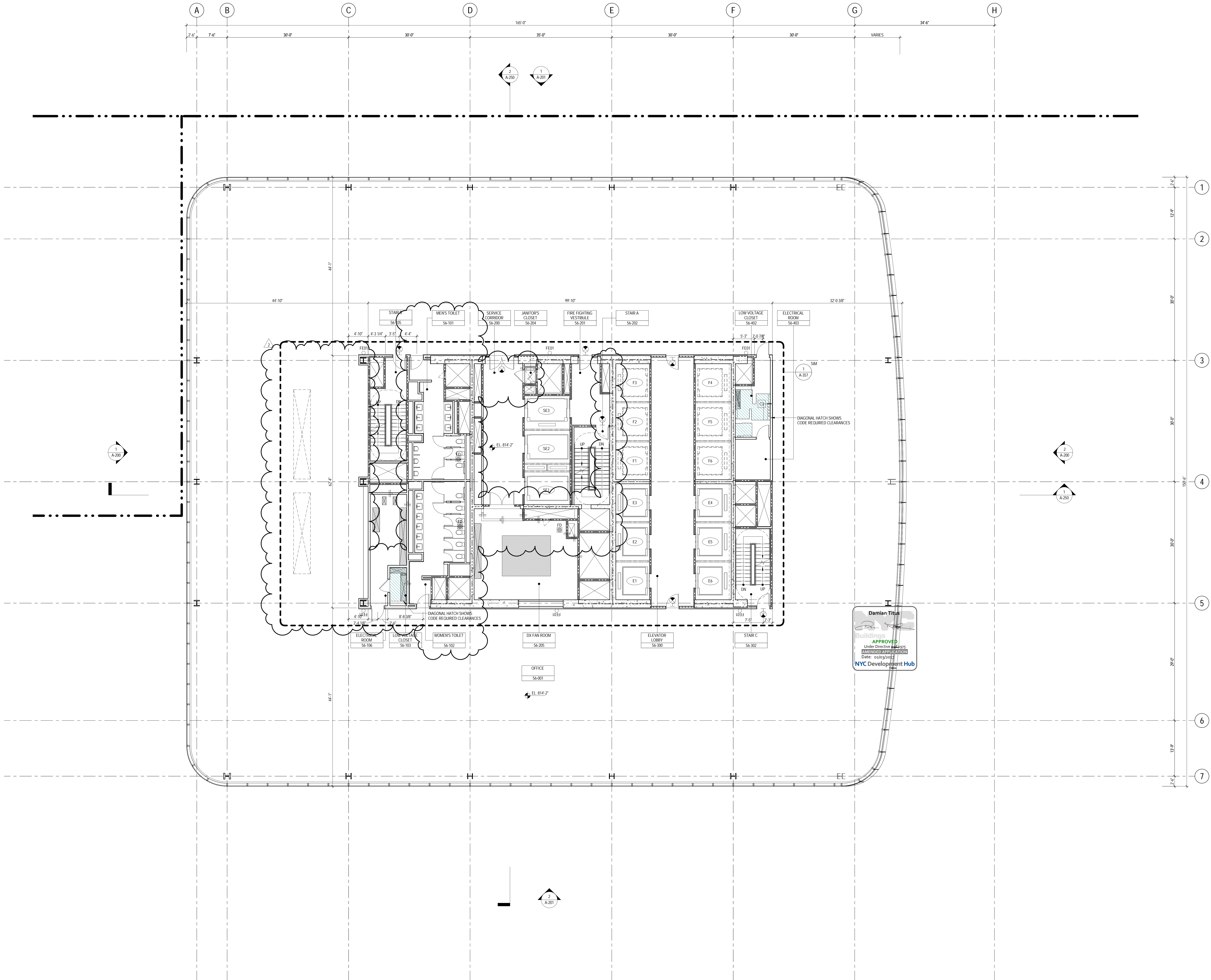
No.	Date	Description
2	22 APR 2016	ISSUED FOR P&A
1	07 OCT 2015	ISSUED FOR BUILDING PERMIT

Sheet Name: LEVEL 55 FLOOR PLAN - HIGH-RISE

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-155

B-SCAN Sheet No.: A-155.02  
Sheet No.: A-155  
Page No.: 48 OF





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5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
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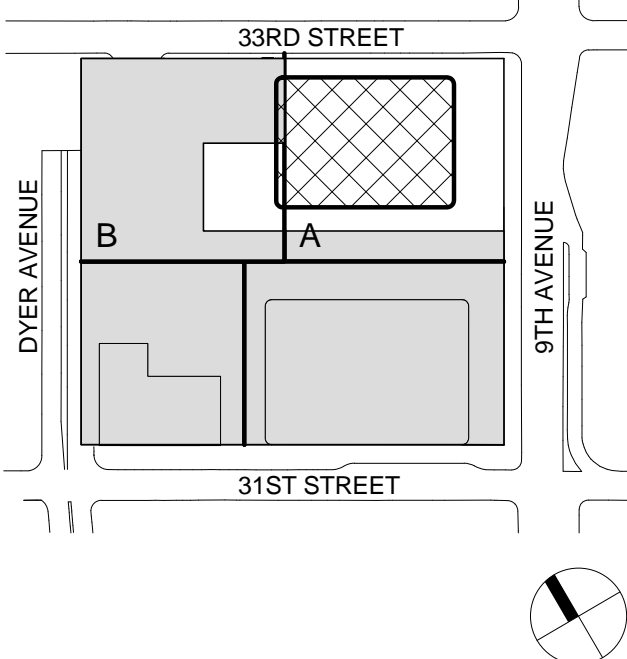
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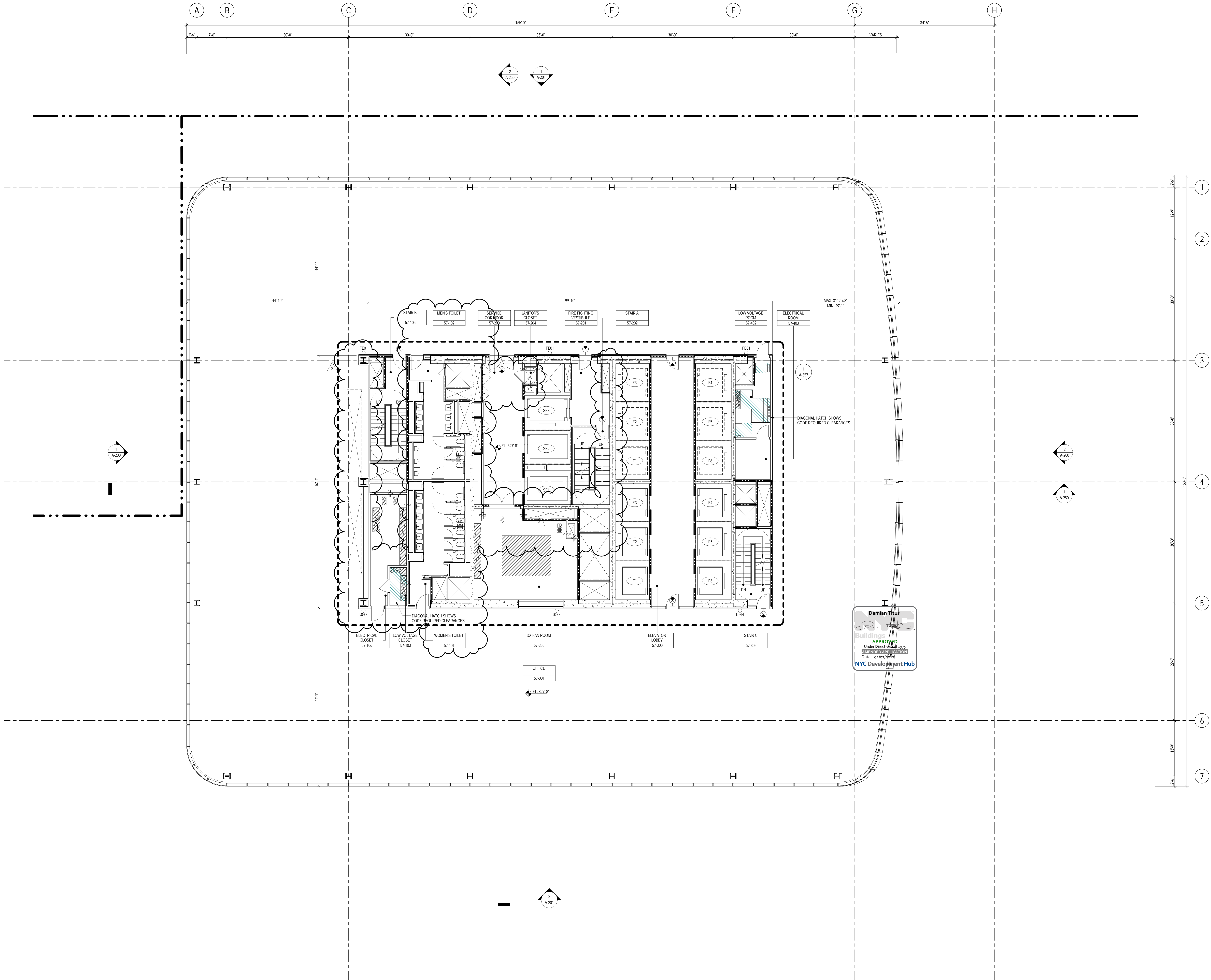
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2 22 APR 2016 ISSUED FOR PAA  
1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**LEVEL 56 FLOOR  
PLAN - HIGH-RISE**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-156  
B-SCAN Sheet No.: A-156.02  
Sheet No.: A-156  
Page No.: 49 OF





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250 State Street #F1, North Haven, CT 06473

Blast Consultant  
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40 Wall Street, New York, NY 10005

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Cerami & Associates  
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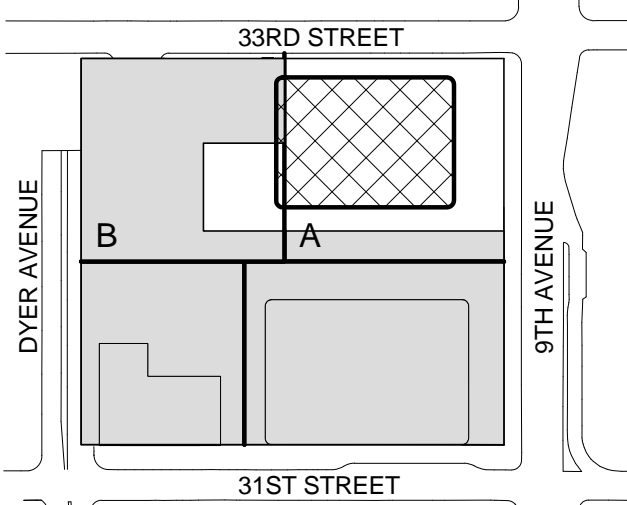
Vibration Consultant  
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65 Broadway, Suite 401, New York, NY 10006

Code Consultant  
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Key Plan:



Seal & Signature



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2 22 APR 2016 ISSUED FOR PAA  
1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

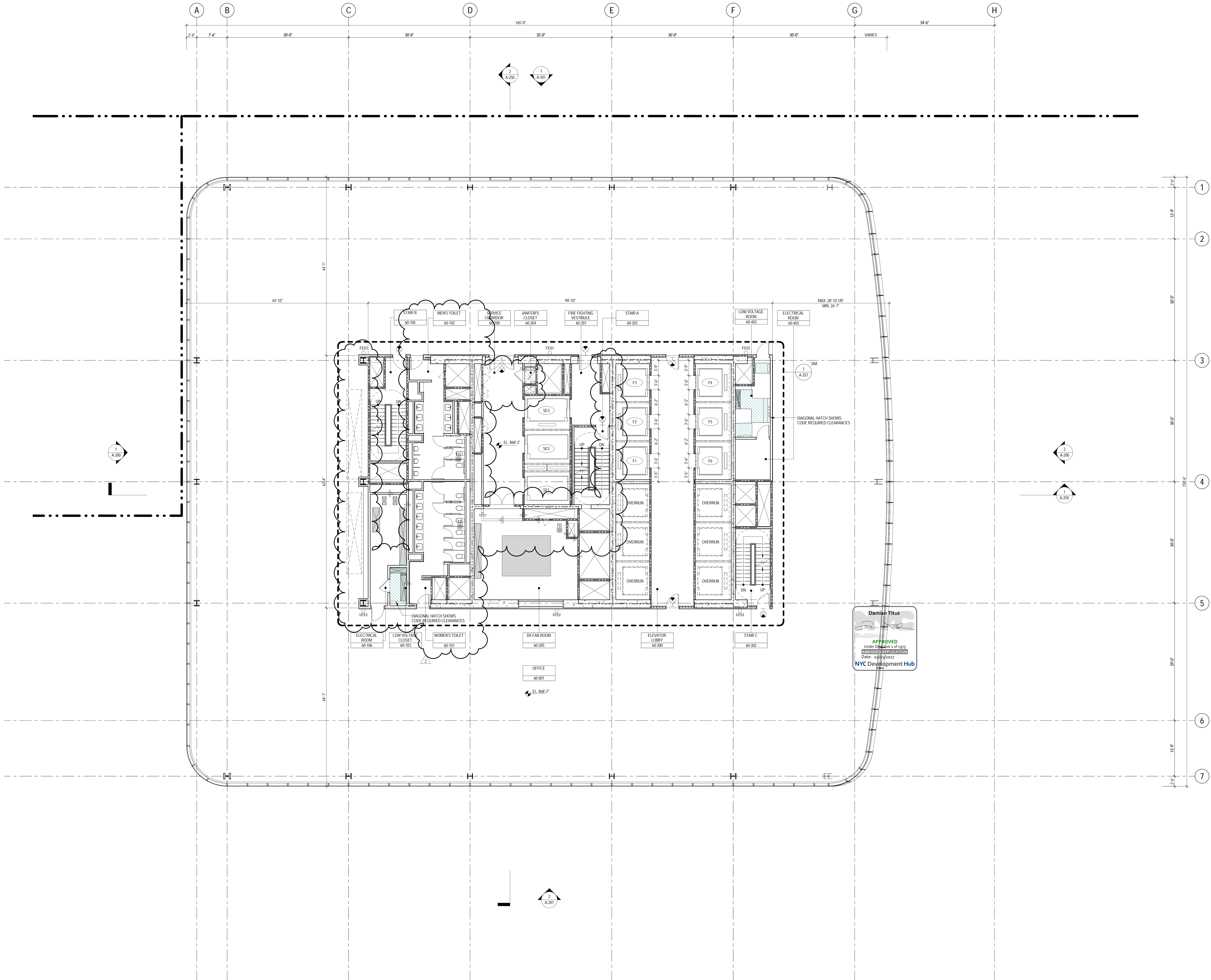
**LEVEL 57-58  
FLOOR PLAN -  
TYPICAL  
HIGH-RISE**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-157  
B-SCAN Sheet No.: A-157.02  
Sheet No.: A-157  
Page No.: 50 OF



## Page No.: 51 of 51





## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. C-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE DN, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/PA/SECEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMN, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP/PA/SECEL DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM RISER AND EQUIPMENT DESIGNATIONS.
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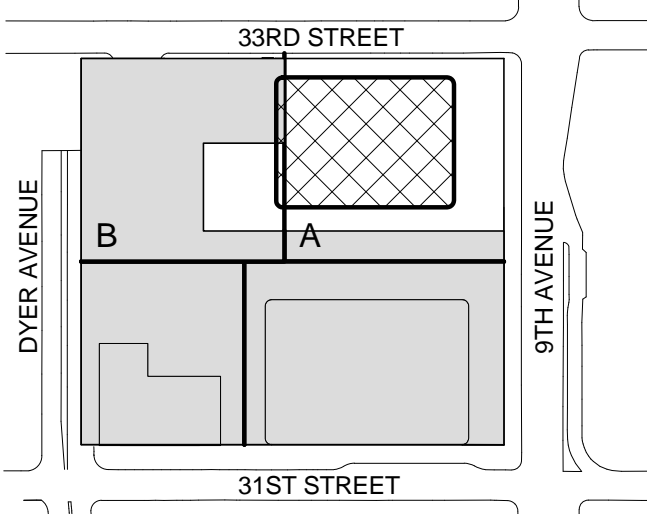
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Key Plan:



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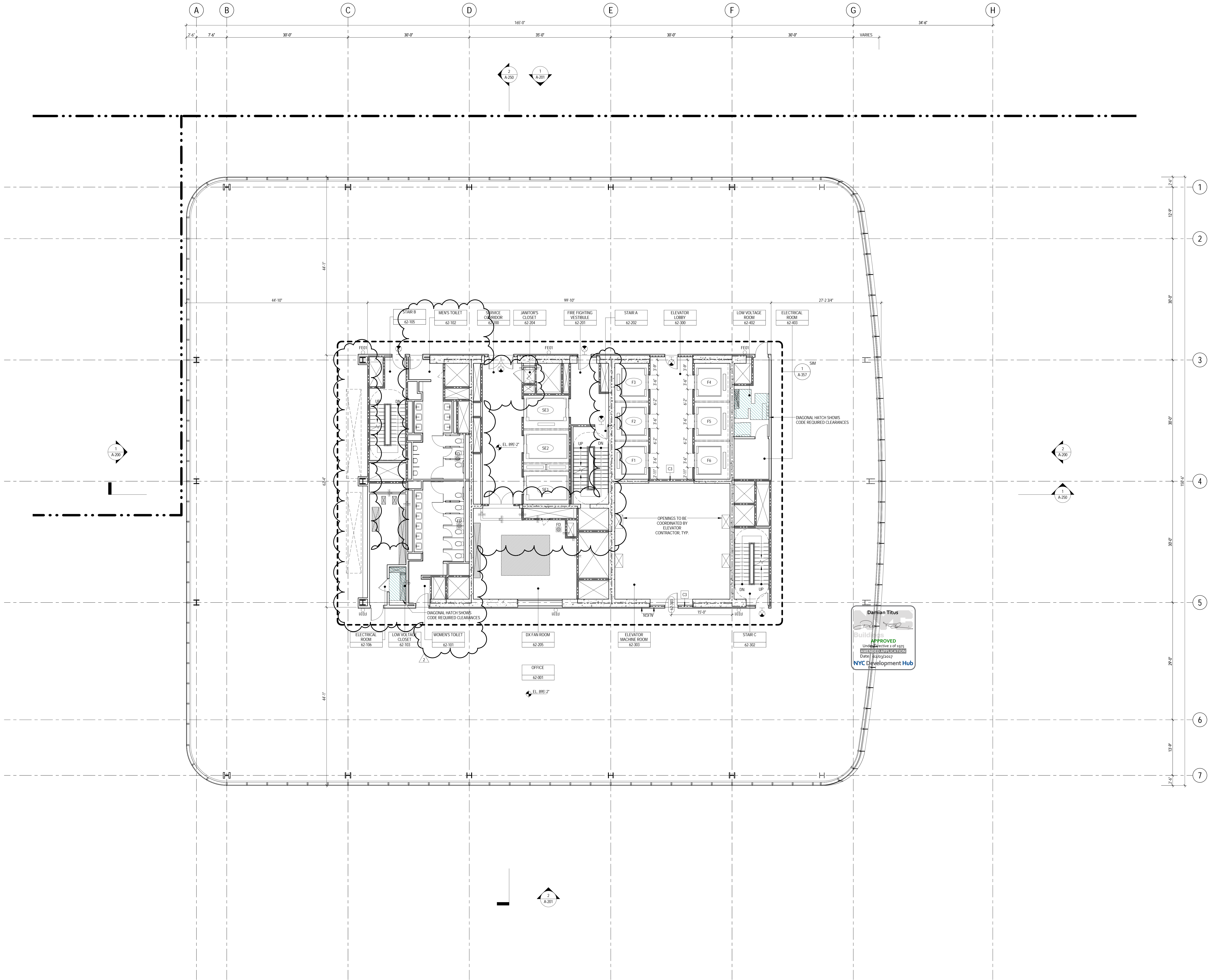
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**LEVEL 60-61  
FLOOR PLAN -  
HIGH-RISE  
OVERRUN**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-160  
B-SCAN Sheet No.: A-160.02  
Sheet No.: A-160  
Page No.: 52 OF





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Key Plan:



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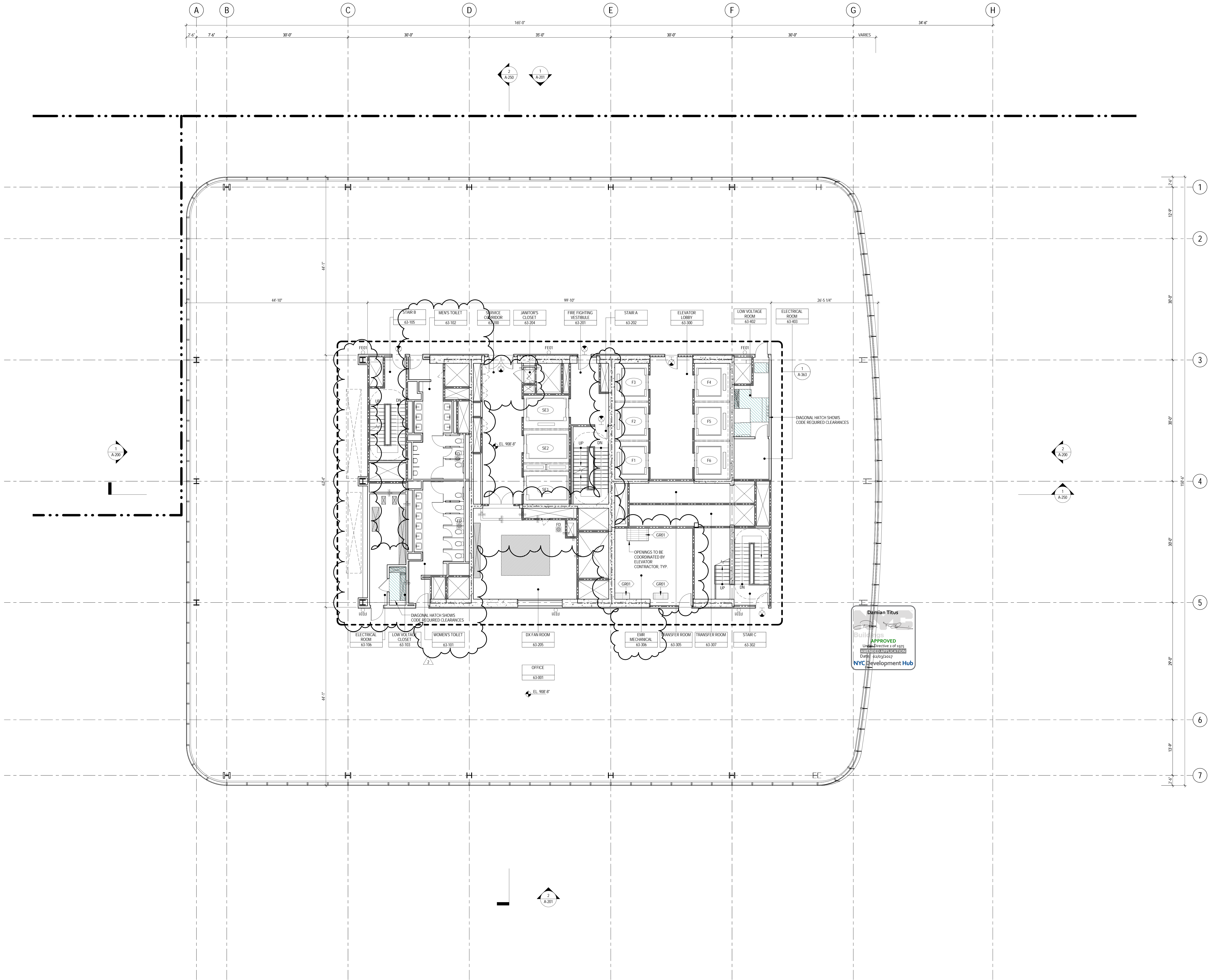
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2 22 APR 2016 ISSUED FOR PAA  
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**LEVEL 62 FLOOR  
PLAN - HIGH-RISE  
EMR**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-162  
B-SCAN Sheet No.: A-162.02  
Sheet No.: A-162  
Page No.: 53 OF





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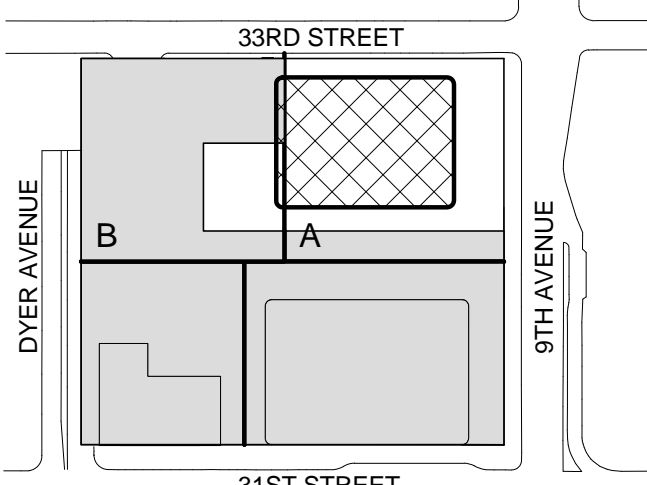
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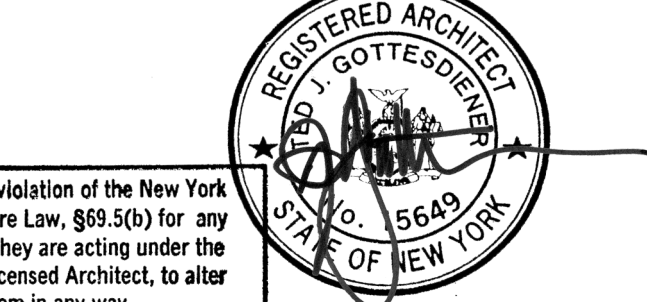
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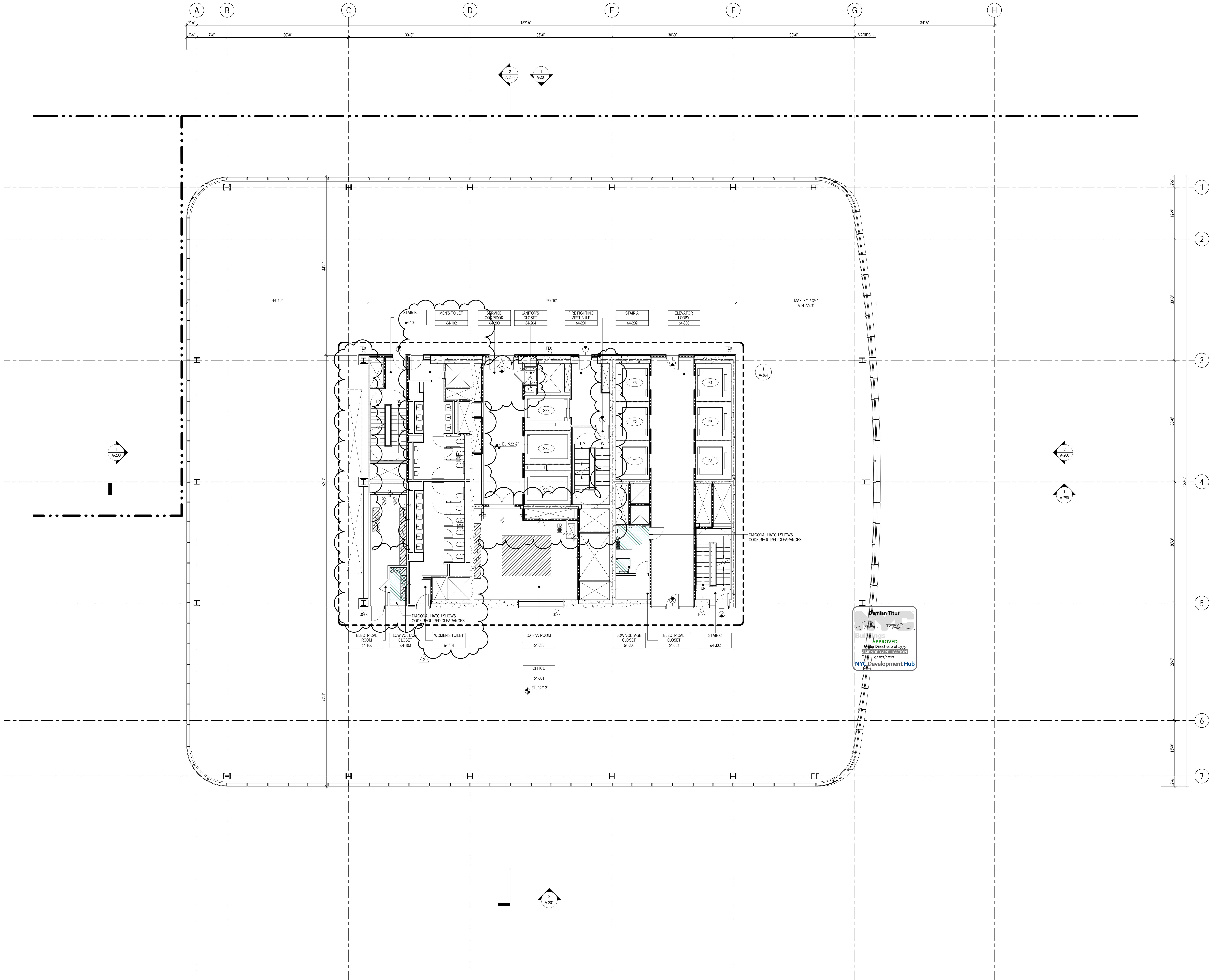


2	22 APR 2016	ISSUED FOR PAA
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LEVEL 63 FLOOR  
PLAN - HIGH-RISE

Project No.: 207150	B-SCAN Sheet No.: A-163.02
Date: 22 APR 2016	Sheet No.: A-163
Scale: 1/8" = 1'-0"	Page No.: 54 OF
File No.: A-163	





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21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
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29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.



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Landscape Consultant

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Security Consultant

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250 State Street #F1, North Haven, CT 06473

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Cerami & Associates  
404 Fifth Avenue #8, New York, NY 10018

Vibration Consultant

Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant

Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

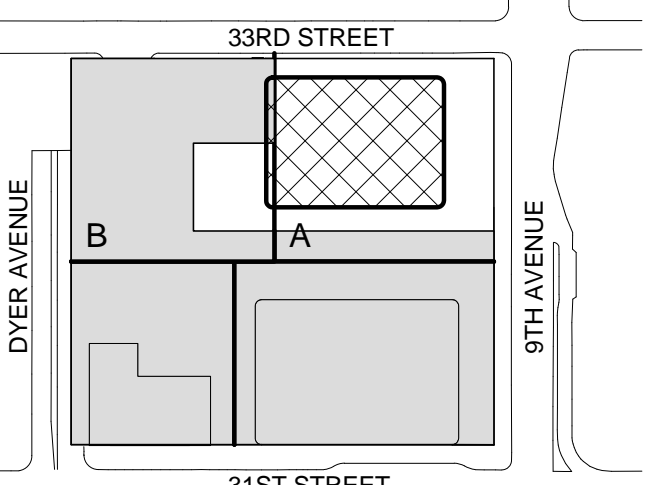
Facade Maintenance Consultant

Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

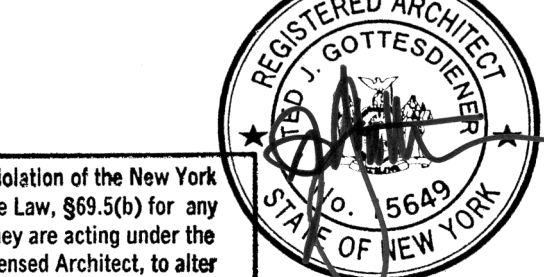
Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1R8

Key Plan:



Seal & Signature



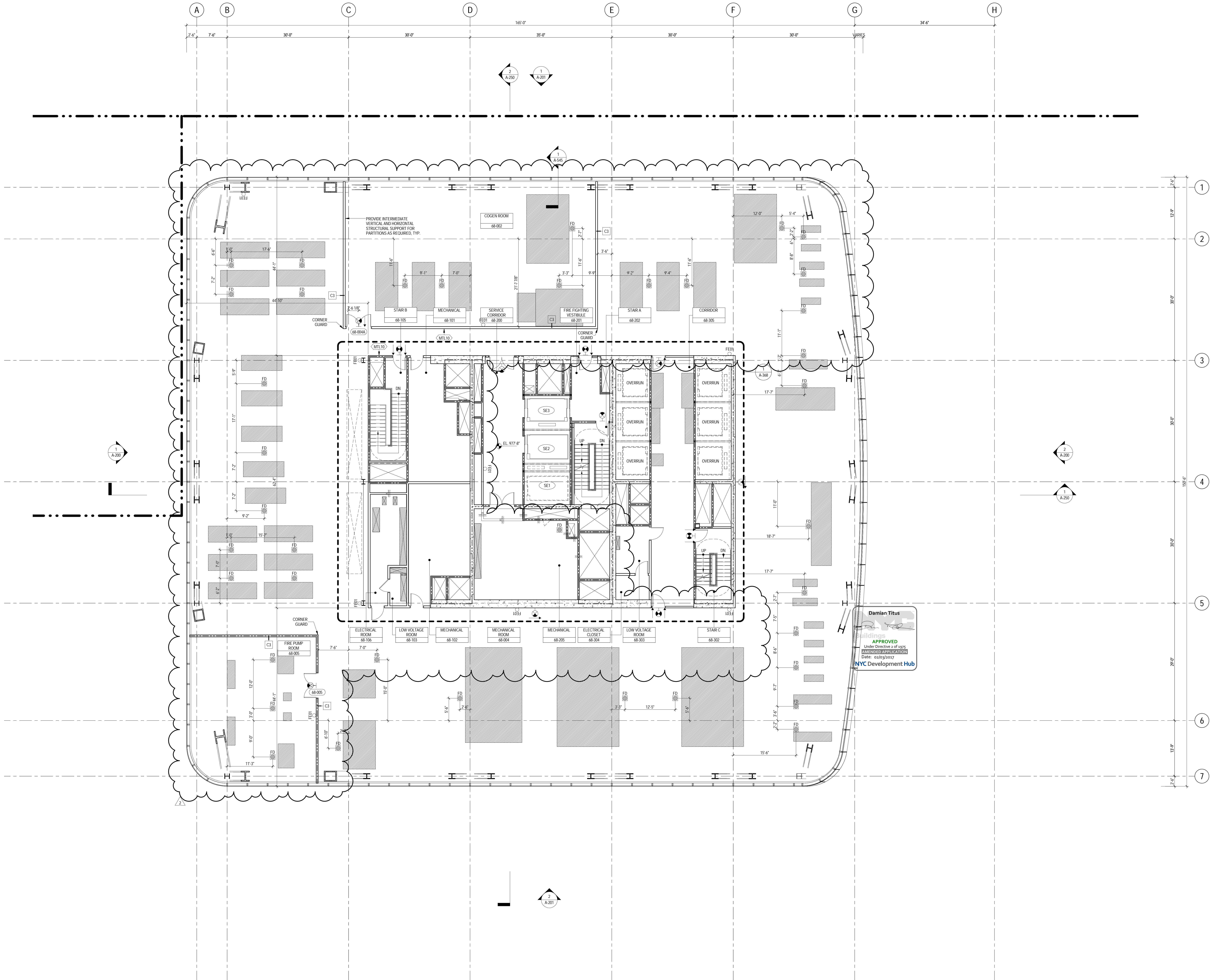
Warning: It is a violation of the New York State Architecture Law, §16-150 for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

2 22 APR 2016 ISSUED FOR PAA  
1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**LEVEL 64-67  
FLOOR PLAN -  
TYPICAL  
HIGH-RISE**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-164  
B-SCAN Sheet No.: A-164.02  
Sheet No.: A-164  
Page No.: 55 OF





## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVB8).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNDO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNDO.
9. FOR REFLECTED CEILING PLANS SEE A-400 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPPPP SET/CEILING SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNDO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LEFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1012 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SITES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
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27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
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29. REFER TO A-000 - A-008 FOR ENCLOSURE GEOMETRY SET-OUT.



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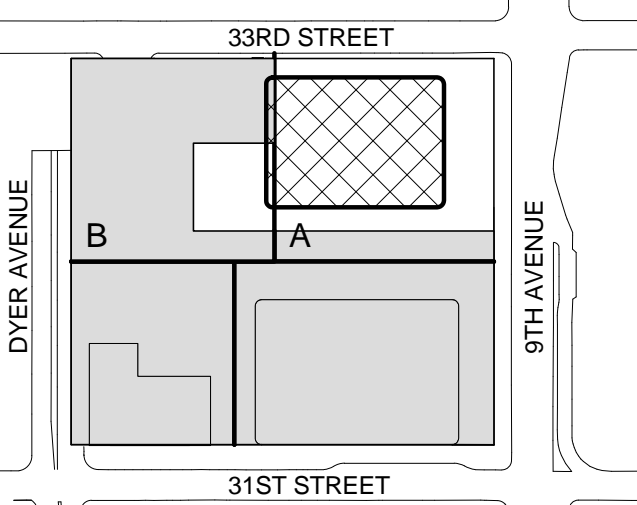
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Key Plan:



Seal & Signature



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2 22 APR 2016 ISSUED FOR P&A  
1 21 APR 2016 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**LEVEL 68 FLOOR  
PLAN -  
MECHANICAL**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-168  
B-SCAN Sheet No.: A-168.01  
Sheet No.: A-168  
Page No.: 56 OF 56



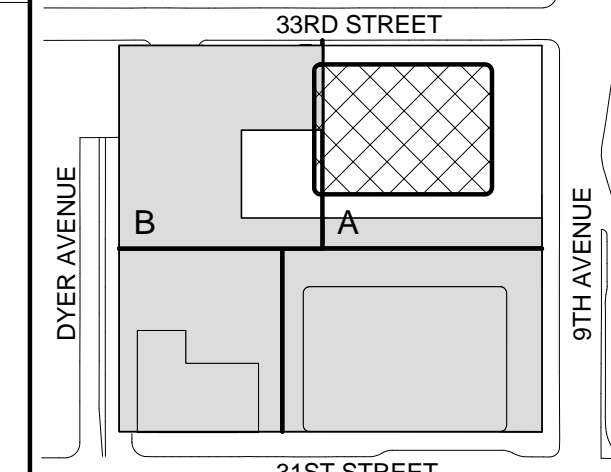
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4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. C-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE DN, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF ROOM IS NOT PROVIDED SEE MEPP/PP/SET/SET/SET SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
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16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1002.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SITES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
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26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAWTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-550 - A-558 FOR ENCLOSURE GEOMETRY SET-OUT.

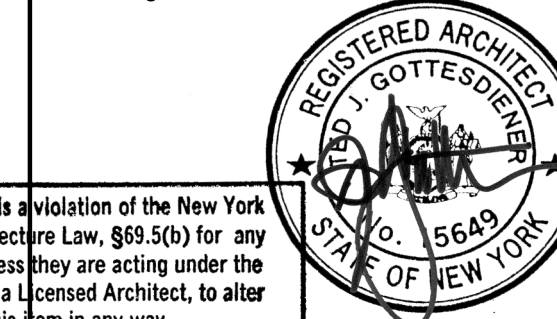
## SHEET NOTES

1. SEE DETAIL 5 ON A-580 FOR TYPICAL DRAIN DETAIL.
2. SEE DETAIL 4 ON A-580 FOR TYPICAL VENT PENETRATION.
3. SEE DETAIL 3 ON A-581 FOR TYPICAL FLASHING DETAIL AT FALL RESTRAINT ANCHOR. FINAL ANCHOR DESIGN SHALL BE PER FM SERIES AND SPECIFICATION.
4. FALL RESTRAINT ANCHORS SHALL BE COORDINATED WITH STRUCTURE BELOW.
5. SEE SPECIFICATION FOR PAVEMENT WEIGHT AND STRAPPING REQUIREMENTS.
6. SEE E-SERIES DRAWINGS FOR LOCATION OF LIGHTNING ARRESTORS. ALL ARRESTORS ARE TO BE KNOCK-DOWN TYPE.
7. SEE P-SERIES FOR DRAIN TYPE.
8. SEE S-SERIES FOR DRAINAGE SIZE AND LOCATION.
9. BMM CONTRACTOR TO COORDINATE LOCATION OF TRUCK PEDESTALS WITH STRUCTURAL FRAMING BELOW.
10. ALL SLOPED CUT PAVERS SHALL BE STRAPPED AT VALLEY INTERSECTIONS.
11. ALL GUARDRAILS SHALL BE OSHA COMPLIANT.
12. FOR WIND PRESSURE DIAGRAM, REFER TO SECTION 1603.1 OF THE SPECIFICATIONS. ALL PAVERS MUST BE WEIGHTED TO REST PRESSURES IN REPORT.
13. It is the responsibility of the Architect to ensure that the design complies with the applicable laws, codes, and regulations. The Architect is not responsible for the design of the building or the safety of the building.

Key Plan:



Seal & Signature:



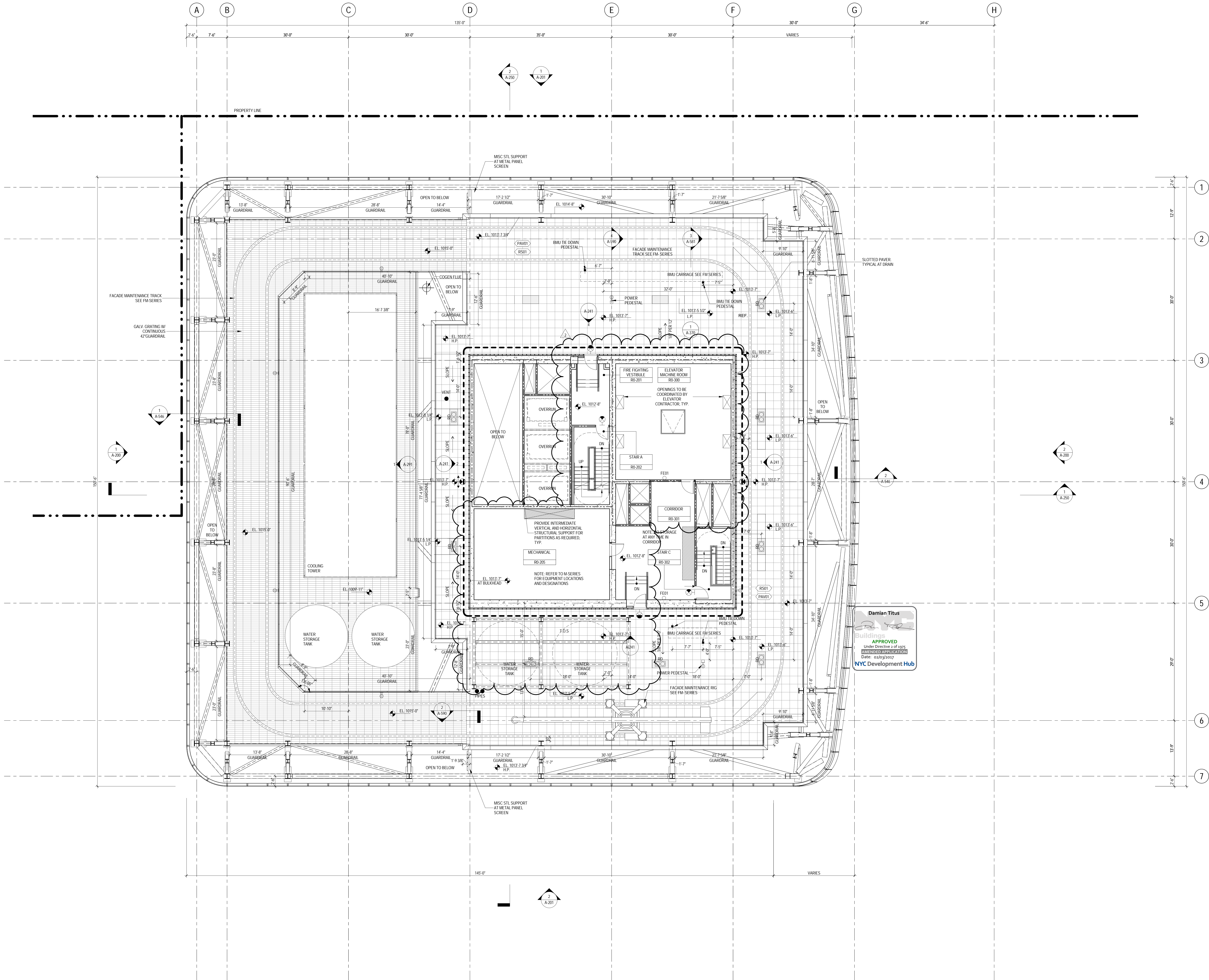
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Sheet Name:

LEVEL 69 FLOOR  
PLAN -  
MECHANICAL

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/8" = 1'-0"  
File No.: A-169  
B-SCAN Sheet No.: A-169.01  
Sheet No.: A-169  
Page No.: 57 OF

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Scale: 1/8" = 1'-0"  
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Sheet No.: A-169  
Page No.: 57 OF





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5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
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## SHEET NOTES

1. SEE DETAIL 5 ON A-580 FOR TYPICAL DRAIN DETAIL.
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8. SEE S-SERIES FOR DRAINAGE SIZE AND LOCATION.
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11. ALL GUARDRAILS SHALL BE OSHA COMPLIANT.
12. FOR WIND PRESSURE DIAGRAM, REFER TO SECTION 1603.1 OF THE SPECIFICATIONS. ALL PAVES MUST BE STRAPPED/WEIGHTED TO REST PRESSURES IN OSHA COMPLIANT MANNER. UNLESS OTHERWISE NOTED, THIS SHALL BE THE CASE FOR ALL PAVES IN ANY LOCATION & DETAILS.
13. SEE FM SERIES FOR FACADE MAINTENANCE TRACKS & DETAILS.



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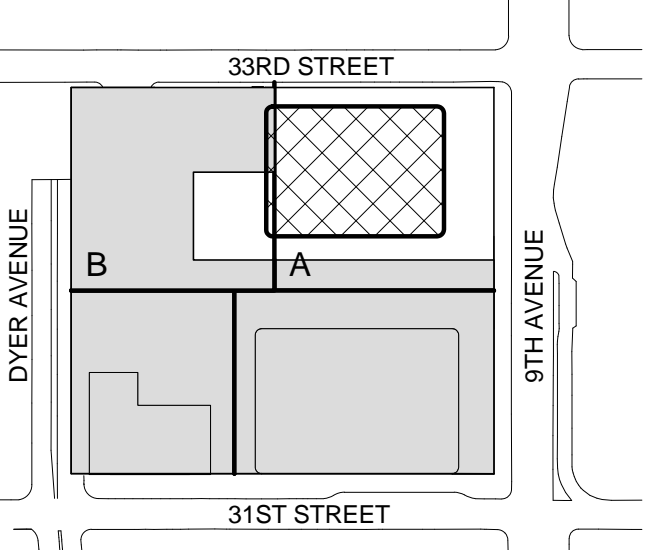
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650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:



Seal & Signature:

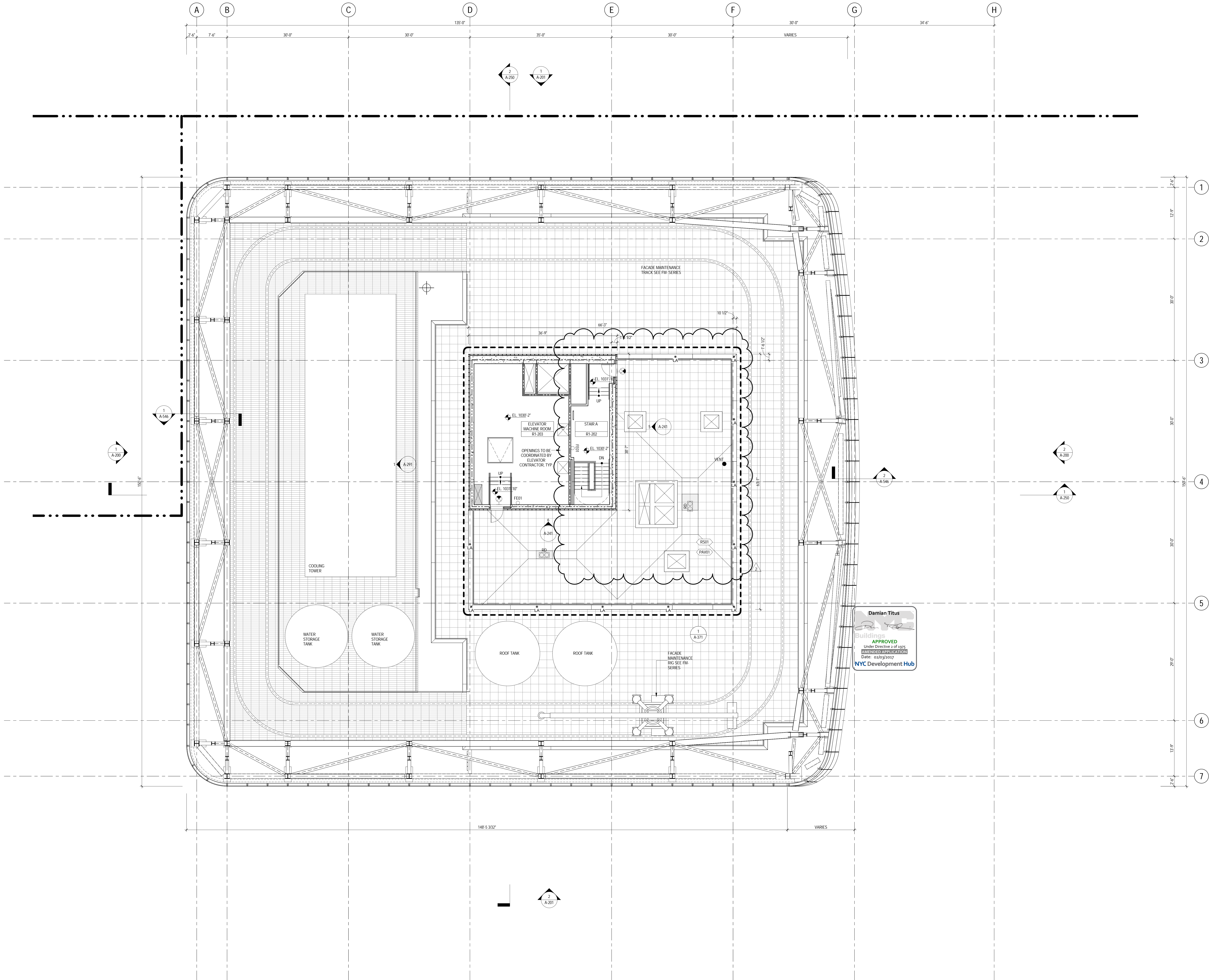


2	22 APR 2016	ISSUED FOR PAA
1	21 JUL 2015	ISSUED FOR BUILDING PERMIT
No.	Date	Description
Sheet Name:		

**ROOF PLAN -  
MECHANICAL  
PENTHOUSE**

Project No.: 207150	B-SCAN Sheet No.: <b>A-170.01</b>
Date: 22 APR 2016	Sheet No.: A-170
Scale: 1/8" = 1'-0"	Page No.: 58 OF
File No.: A-170	





GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVB8).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. C-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/FACSET/CEILING SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP/FACSET/CEILING SERVICE DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT CITY BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1910 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SITES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT AND MATERIAL TYPES.
25. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 406 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-006.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE/FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

SHEET NOTES

1. SEE DETAIL 5 ON A-580 FOR TYPICAL DRAIN DETAIL.
2. SEE DETAIL 4 ON A-580 FOR TYPICAL VENT PENETRATION.
3. SEE DETAIL 1 ON A-580 FOR TYPICAL FLASHING DETAIL AT FALL RESTRAINT ANCHOR. FINAL ANCHOR DESIGN SHALL BE PER FM SERIES AND SPECIFICATION.
4. FALL RESTRAINT ANCHORS SHALL BE COORDINATED WITH STRUCTURE BELOW.
5. SEE SPECIFICATION FOR PAVEMENT WEIGHT AND STRAPPING REQUIREMENTS.
6. SEE E SERIES DRAWINGS FOR LOCATION OF LIGHTNING ARRESTORS. ALL ARRESTORS ARE TO BE KNOCK-DOWN TYPE.
7. SEE P SERIES FOR DRAIN TYPE.
8. SEE S SERIES FOR DRAINAGE SIZE AND LOCATION.
9. BMA CONTRACTOR TO COORDINATE LOCATION OF TRACK PEDESTALS WITH STRUCTURAL FRAMING BELOW.
10. ALL SLOPED CUT PAVERS SHALL BE STRAPPED AT VALLEY INTERSECTIONS.
11. ALL GUARDRAILS SHALL BE OSHA COMPLIANT.
12. FOR WIND PRESSURE DIAGRAM, REFER TO A-171.01 FOR WIND PRESSURE DIAGRAMS. ALL PAVERS MUST BE STRAPPED/WEIGHTED TO REST PRESSURES IN DIRECTION OF A Licensed Architect, to alter this item in any way.
13. SEE FM SERIES FOR FACADE MAINTENANCE TRACKS & DETAILS.

**MANHATTAN WEST: NORTH TOWER**  
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Cerami & Associates  
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Vibration Consultant

Wilson, Uhrig & Associates, Inc.  
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Code Consultant

Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

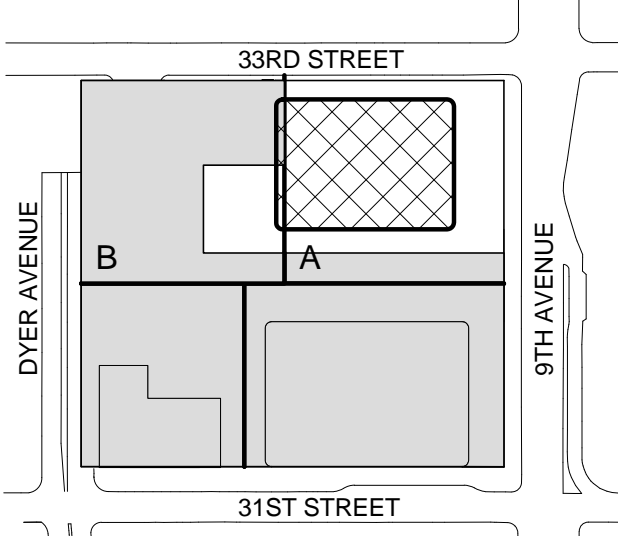
Facade Maintenance Consultant

Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

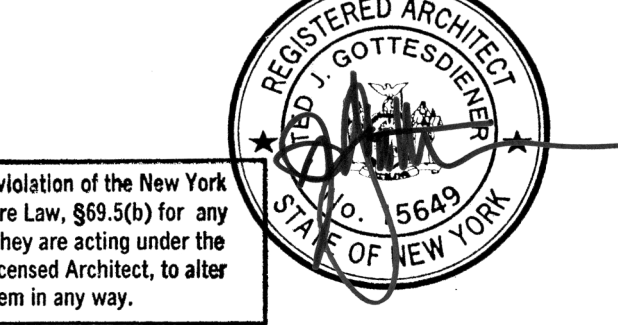
Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1R8

Key Plan:



Seal & Signature:

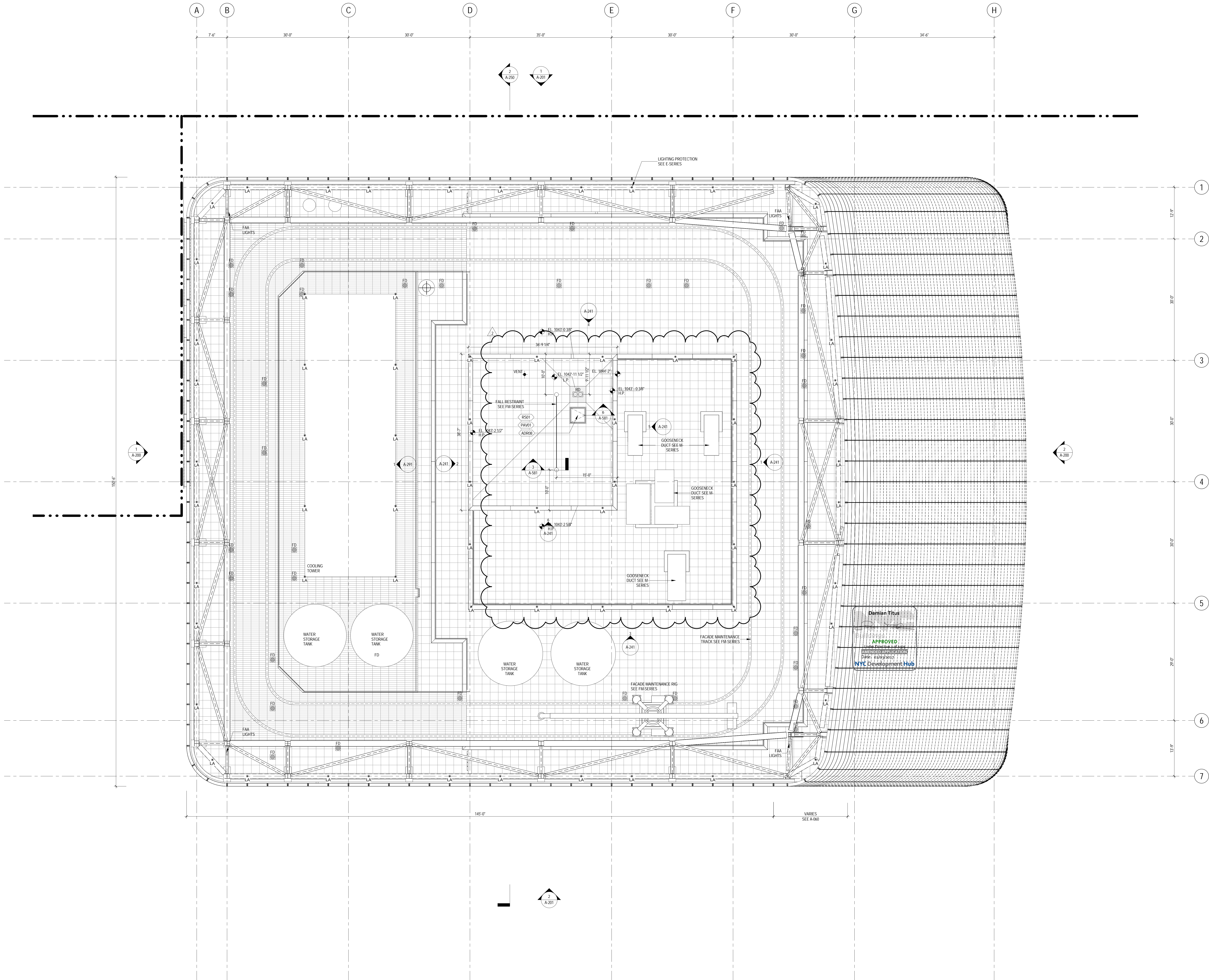


2	22 APR 2016	ISSUED FOR PAA
1	21 APR 2016	ISSUED FOR BUILDING PERMIT
No.	Date	Description
Sheet Name:		

**ROOF PLAN - MECHANICAL PENTHOUSE ROOF**

Project No.: 207150	B-SCAN Sheet No.: A-171.01
Date: 22 APR 2016	Sheet No.: A-171
Scale: 1/8" = 1'-0"	Page No.: 99 OF
File No.: A-171	





## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. C-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPPF AS SET. SEE SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING/WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPPF DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. EXISTING DIMENSIONS AND CONDITIONS FOR THE ADJACENT LEFT BUILDING MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THESE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT OF RECORD.
15. THE PROJECT MUST SATISFY ALL APPLICABLE SEISMIC DESIGN PROVISIONS INDICATED IN SECTION BC 1012 OF THE 2008 NEW YORK CITY BUILDING CODE. REFER TO THE STRUCTURAL CALCULATION BOOK ISSUED ON JUNE 20, 2014 FOR SEISMIC LOAD DESIGN PARAMETERS.
16. REFER TO CIVIL SERIES DRAWINGS AND BUILDING PAVEMENT PLANS FOR UTILITY POINTS OF ENTRY. REFER TO DETAILS IN 500 SERIES FOR TYPICAL PENETRATION DETAILS.
17. GUARD RAILS COMPLIANT WITH SECTION BC 1002.1 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS, AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
18. HAND RAILS COMPLIANT WITH SECTION BC 1009.1.1 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
19. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
20. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
21. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 4" TALL CURBS WITH NOTCH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
22. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
23. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
24. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
25. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 402.6 OF THE NEW YORK CITY BUILDING CODE.
26. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
27. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHIFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
28. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.
29. REFER TO A-050 - A-058 FOR ENCLOSURE GEOMETRY SET-OUT.

## SHEET NOTES

1. SEE DETAIL 5 ON A-580 FOR TYPICAL DRAIN DETAIL.
2. SEE DETAIL 4 ON A-580 FOR TYPICAL VENT PENETRATION.
3. SEE DETAIL 1 ON A-581 FOR TYPICAL FLASHING DETAIL AT FALL RESTRAINT ANCHOR. FINAL ANCHOR DESIGN SHALL BE PER FM SERIES AND SPECIFICATION.
4. FALL RESTRAINT ANCHORS SHALL BE COORDINATED WITH STRUCTURE BELOW.
5. SEE SPECIFICATION FOR PAVEMENT WEIGHT AND STRAPPING REQUIREMENTS.
6. SEE E SERIES DRAWINGS FOR LOCATION OF LIGHTNING ARRESTORS. ALL ARRESTORS ARE TO BE KNOCK-DOWN TYPE.
7. SEE P-SERIES FOR DRAIN TYPE.
8. SEE S-SERIES FOR DRAINAGE SIZE AND LOCATION.
9. SEE M-SERIES FOR DUCT PENETRATIONS AND DETAILS.
10. RMC CONTRACTOR TO COORDINATE LOCATION OF TRACK PEDESTALS WITH STRUCTURAL FRAMING BELOW.
11. ALL SLOPED CUT PAVERS SHALL BE STRAPPED AT VALLEY INTERSECTIONS.
12. ALL GUARDRAILS SHALL BE OSHA COMPLIANT.
13. FOR WIND PRESSURE DIAGRAM, REFER TO A-000 SERIES DRAWINGS. ALL PAVERS MUST BE WEIGHTED TO REST PRESSURES IN REPORT.
14. SEE FM SERIES FOR FACADE MAINTENANCE LOCATIONS & DETAILS.



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Vertical Transportation

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Security Consultant

Ducibella, Vantor & Santoro  
250 State Street #F1, North Haven, CT 06473

Blast Consultant

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Acoustical Consultant

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404 Fifth Avenue #8, New York, NY 10018

Vibration Consultant

Wilson, Uhrig & Associates, Inc.  
65 Broadway, Suite 401, New York, NY 10006

Code Consultant

Code Consultants Professional Engineers PC  
215 West 40th Street, 15th Floor, New York, NY 10018

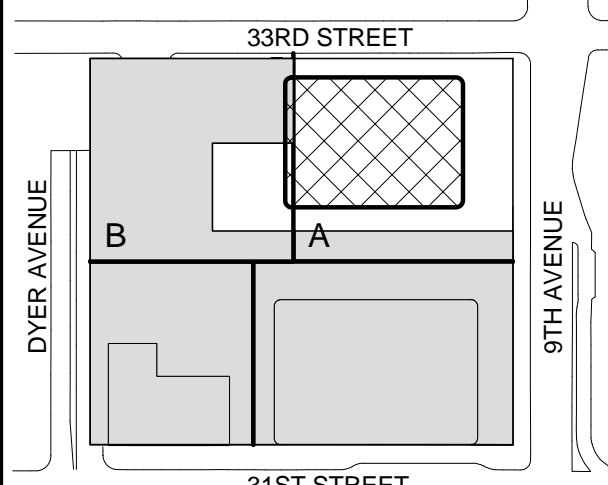
Facade Maintenance Consultant

Entek Engineering LLC  
166 Ames Street, Hackensack, NJ 07601

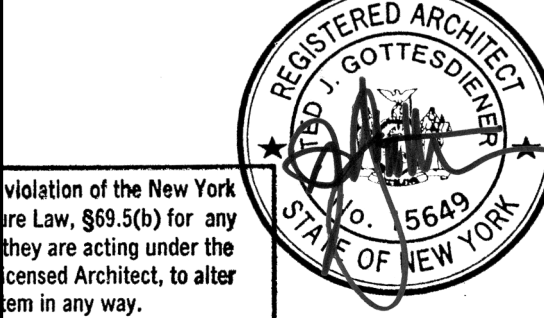
Wind Tunnel Consultant

Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:



Seal & Signature



Warning: It is a violation of the New York State Architecture Law, §16-150, for any person who is not a duly Licensed Architect to alter this plan in any way.

2 22 APR 2016 ISSUED FOR P&A  
1 21 APR 2016 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**ROOF PLAN**

Project No.:  
207150

Date:  
22 APR 2016

Scale:  
1/8" = 1'-0"

File No.:  
A-172

B-SCAN Sheet No.:

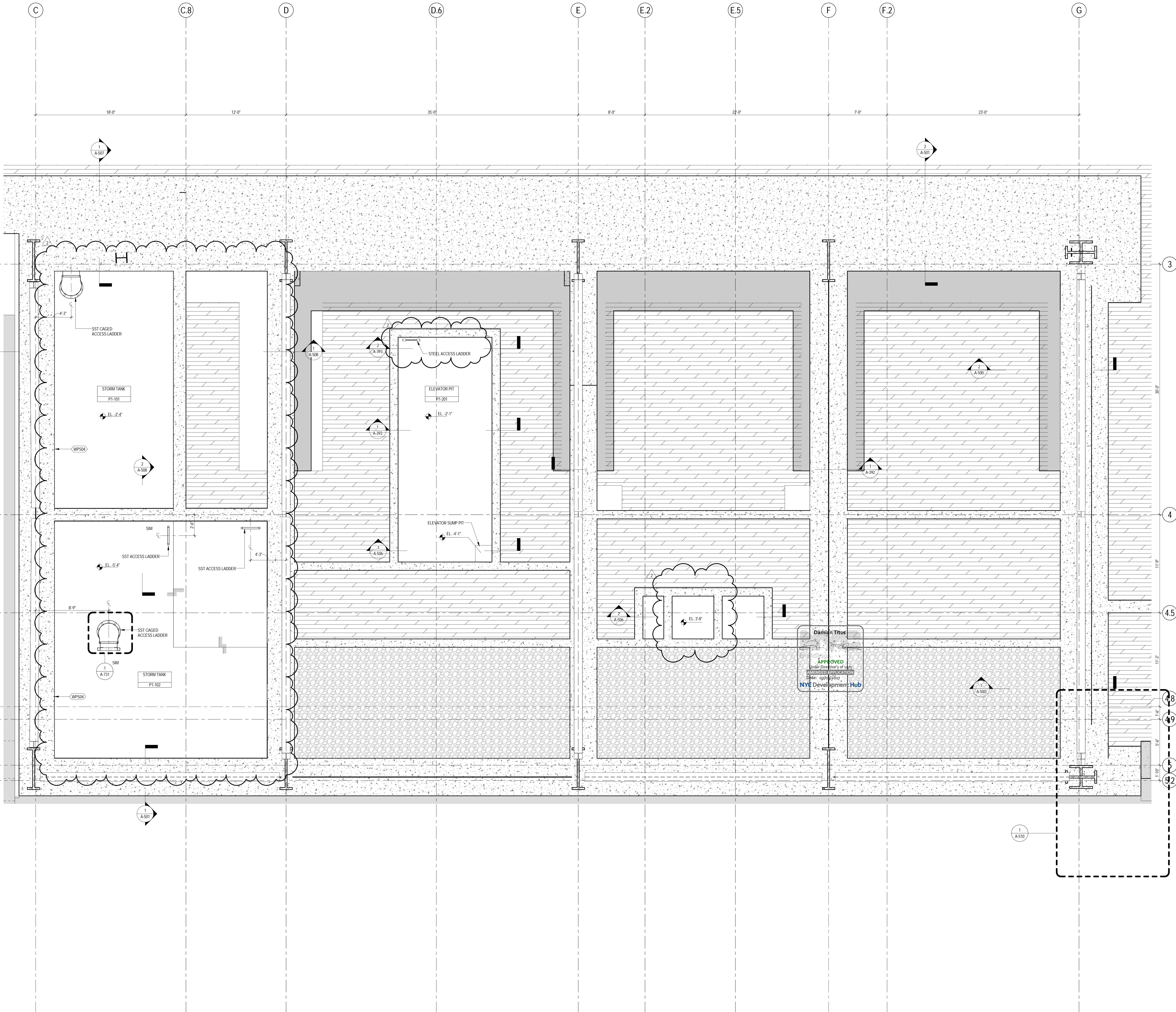
**A-172.01**

Sheet No.:

A-172

Page No.:  
60 OF





## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION B-010.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/FASSC/TEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP/FASSC/TEL SERVICE DRAWINGS FOR ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMP AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
15. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMP AND STAIRWAYS.
16. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FORMING AS REQUIRED.
17. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
18. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
19. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
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21. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
22. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
23. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
24. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKEBARE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHUTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
25. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.



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Wind Tunnel Consultant  
Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:  
33RD STREET  
DYER AVENUE  
31ST STREET  
9TH AVENUE

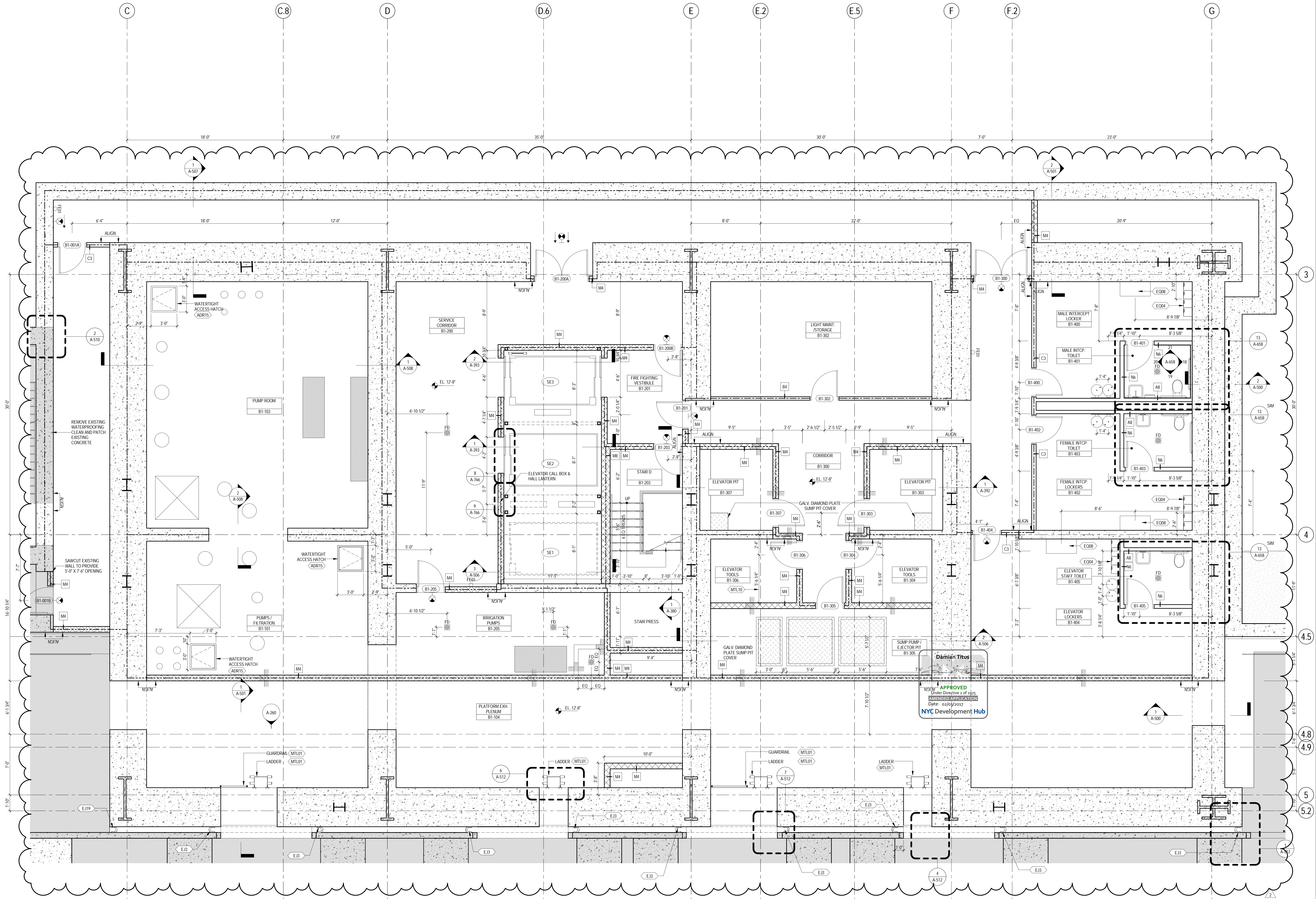
Seal & Signature:  
Warning: It is a violation of the New York State Architecture Law, §16-150 for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.  
REGISTERED ARCHITECT  
STATE OF NEW YORK  
1564

2 22 APR 2016 ISSUED FOR PAA  
1 20 JUN 2014 ISSUED FOR FOUNDATION PERMIT  
No. Date Description  
Sheet Name:

**CELLAR B1  
ENLARGED PIT  
PLAN**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/4" = 1'-0"  
File No.: A-298  
B-SCAN Sheet No.: A-298.01  
Sheet No.: A-298  
Page No.: 22 OF 25





## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
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5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE, SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION (B500).
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPP/PA55/CE/TEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
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12. REFER TO MEPP DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOMS, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-600 SERIES DRAWINGS.
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15. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMP AND STAIRWAYS.
16. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
17. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SINK PARTITIONS COMPLIANT WITH SECTION 705 OF THE NEW YORK CITY BUILDING CODE.
18. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS, PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
19. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
20. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
21. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
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23. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
24. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
25. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.



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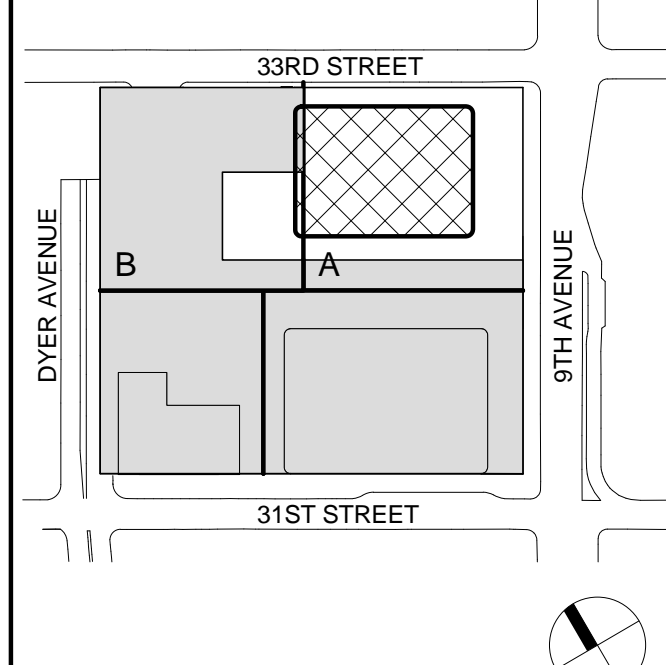
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Key Plan:



Seal & Signature



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No.	Date	Description
2	22 APR 2016	ISSUED FOR P&A
1	20 JUN 2014	ISSUED FOR FOUNDATION PERMIT

## CELLAR B1 ENLARGED CORE PLAN

Project No.: 207150	B-SCAN Sheet No.: A-299.01
Date: 22 APR 2016	Sheet No.: A-299
Scale: 1/4" = 1'-0"	Page No.: 23 OF 25
File No.: A-299	



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3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-006.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR DOOR FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION 05100.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE 09, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF RCP IS NOT PROVIDED SEE MEPP/PP/ASC/CEILING SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
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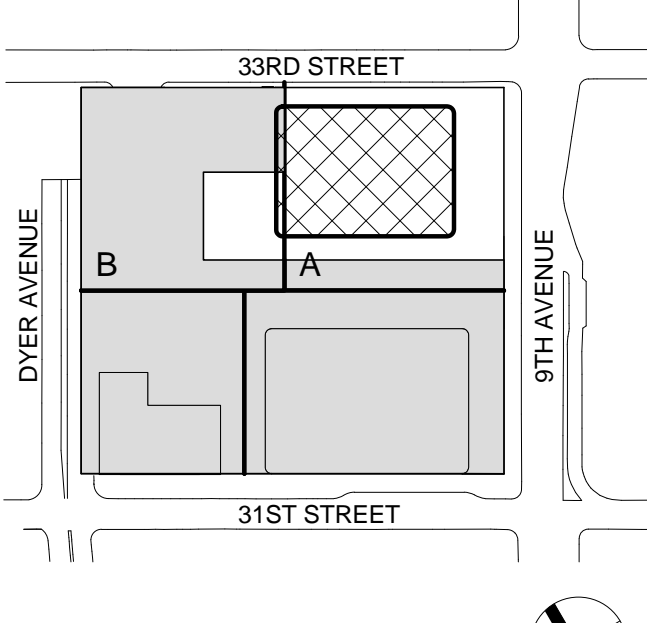
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Seal & Signature:



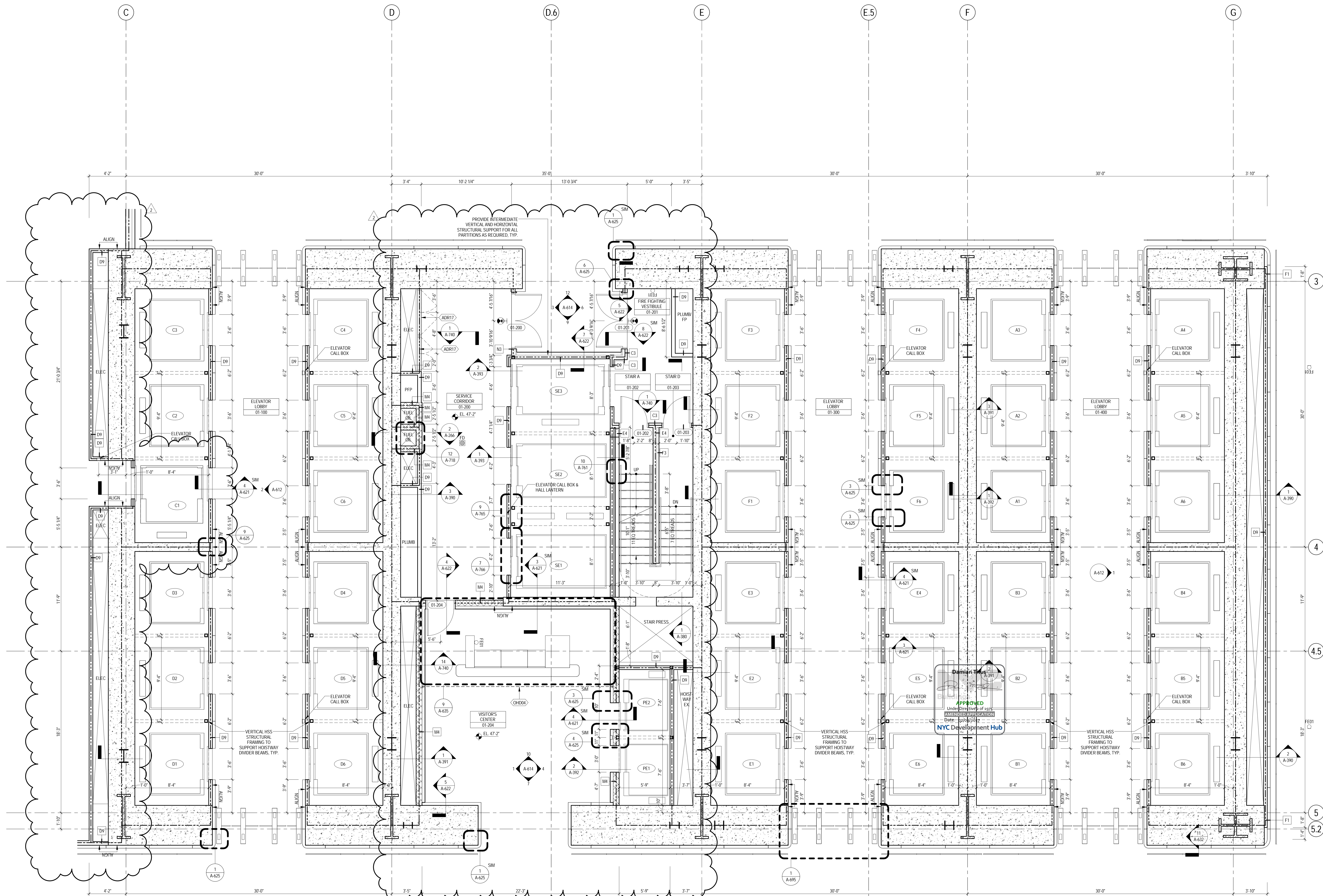
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2 22 APR 2016 ISSUED FOR PAA  
1 20 JUN 2014 ISSUED FOR FOUNDATION PERMIT  
No. Date Description  
Sheet Name:

**CELLAR B  
ENLARGED CORE  
PLAN**

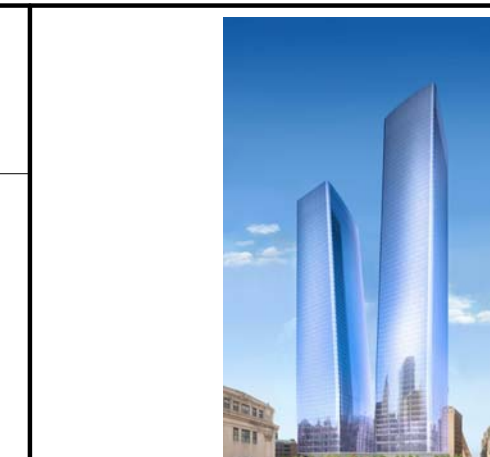
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File No.: A-300  
B-SCAN Sheet No.:  
**A-300.01**  
Sheet No.:  
**A-300**  
Page No.: 24 OF 25





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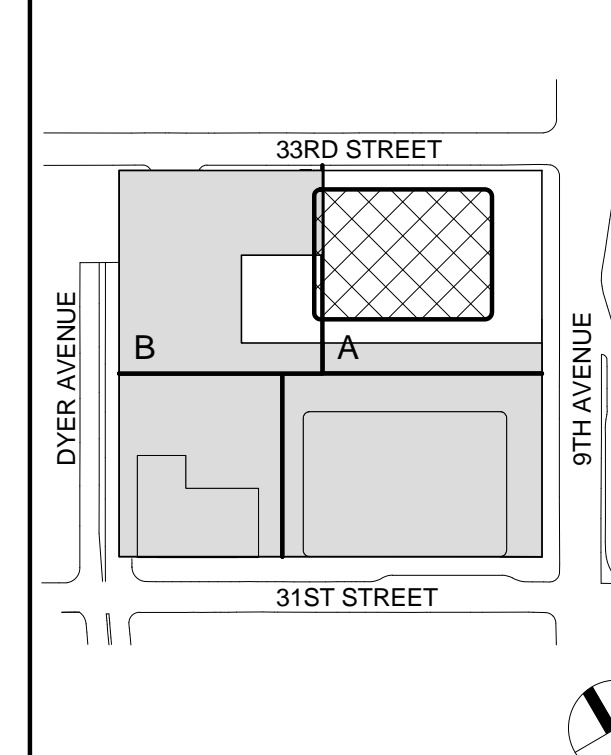
Facade Maintenance Consultant

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Key Plan:



Seal & Signature:



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2 22 APR 2016 ISSUED FOR P&A  
1 20 JUN 2014 ISSUED FOR FOUNDATION PERMIT  
No. Date Description  
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**GROUND FLOOR  
ENLARGED CORE  
PLAN**

Project No.:

207150

Date:

22 APR 2016

Scale:

1/4" = 1'-0"

File No.:

A-301

B-SCAN Sheet No.:

A-301.01

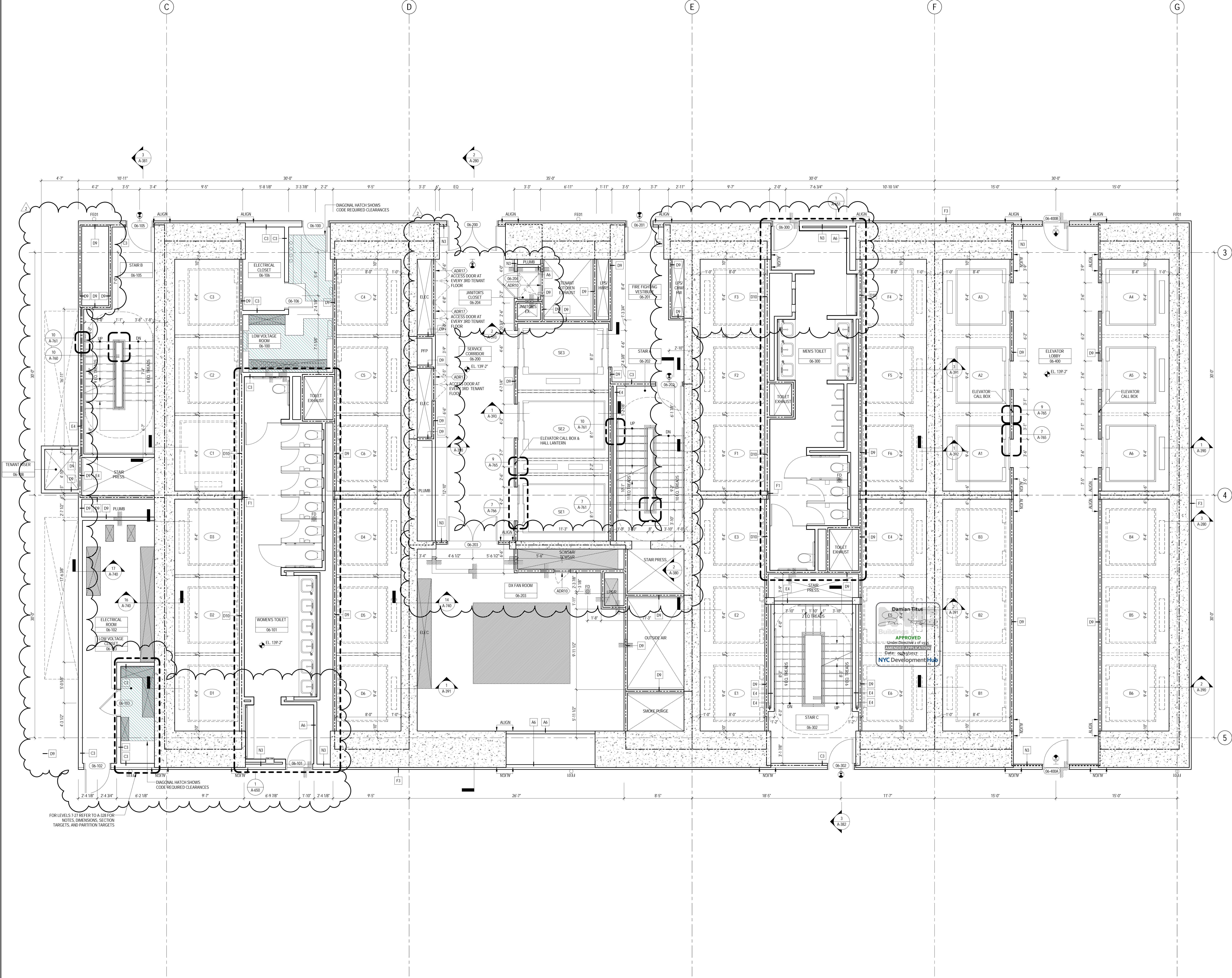
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Page No.:

25 OF 25





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5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION (B5000).
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8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
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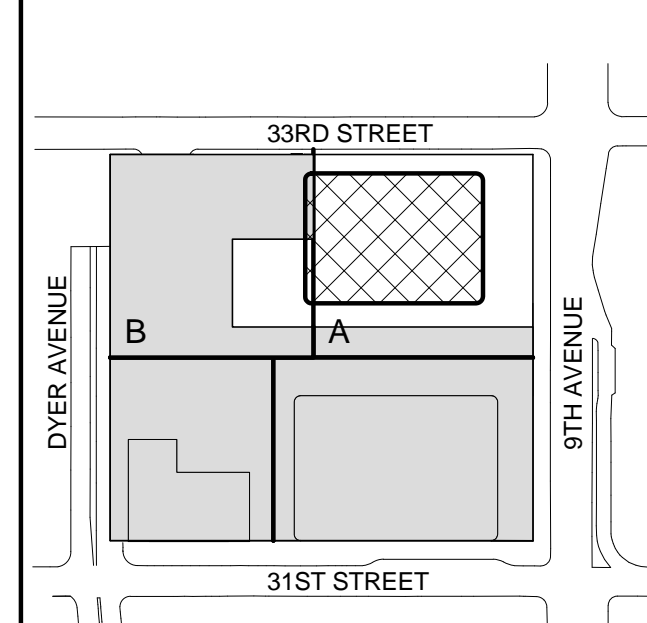
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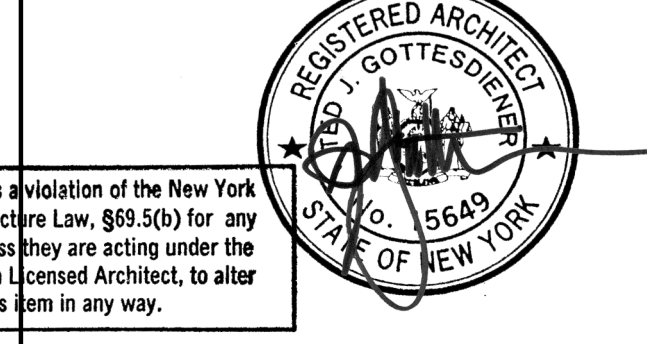
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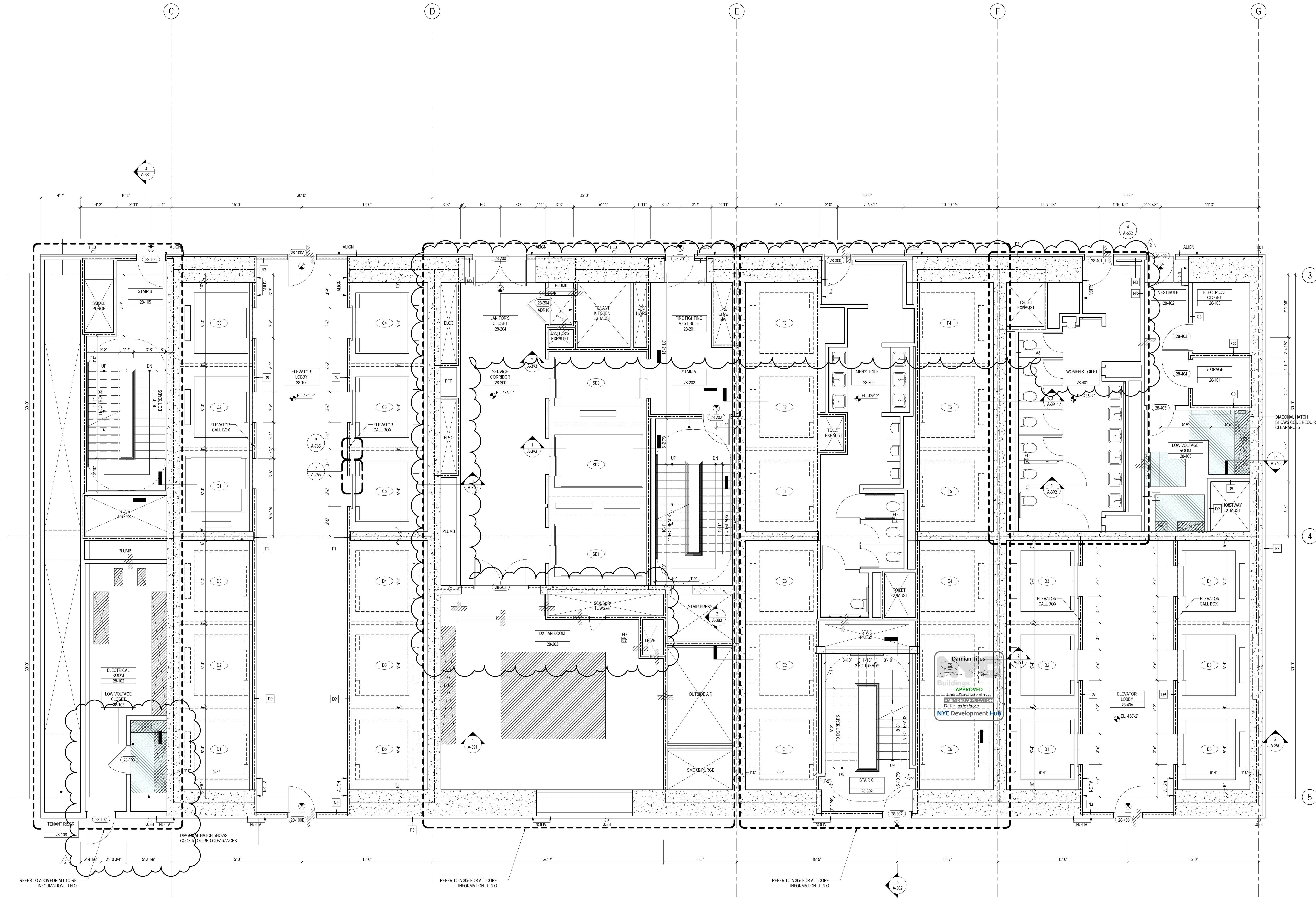
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No.	Date	Description
1	22 APR 2016	ISSUED FOR P&A
2	07 OCT 2015	ISSUED FOR BUILDING PERMIT

**LEVEL 6-16  
ENLARGED CORE  
PLAN - TYPICAL  
LOW-RISE**

Project No.: 207150	B-SCAN Sheet No.: A-306.02
Date: 22 APR 2016	Sheet No.: A-306
Scale: 1/4" = 1'-0"	Page No.: 70 OF
File No.: A-306	





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16. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
17. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
18. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
19. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
20. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
21. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
22. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1006 OF THE NEW YORK CITY BUILDING CODE.
23. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
24. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
25. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.



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Blast Consultant  
Weidinger Associates, Inc.  
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Acoustical Consultant  
Cerami & Associates  
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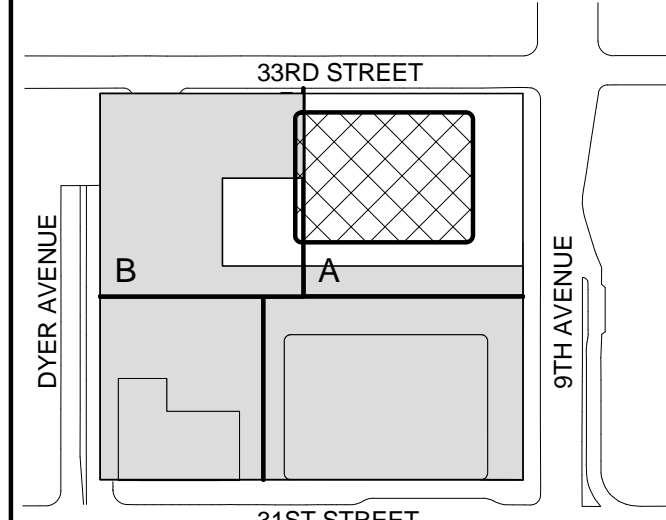
Vibration Consultant  
Wilson, Uhrig & Associates, Inc.  
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215 West 40th Street, 15th Floor, New York, NY 10018

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Rowan Williams Davies & Irwin Inc.  
650 Woodlawn Road West, Guelph, Ontario, Canada N1K 1B8

Key Plan:



Seal &amp; Signature:



Warning: It is a violation of the New York State Architecture Law, §16-01, for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

2 22 APR 2016 ISSUED FOR PAA  
1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
Sheet Name:

**LEVEL 28  
ENLARGED CORE  
PLAN - LOW-RISE  
& MID-RISE**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/4" = 1'-0"  
File No.: A-328  
B-SCAN Sheet No.: A-328.02  
Sheet No.: A-328  
Page No.: 71 OF

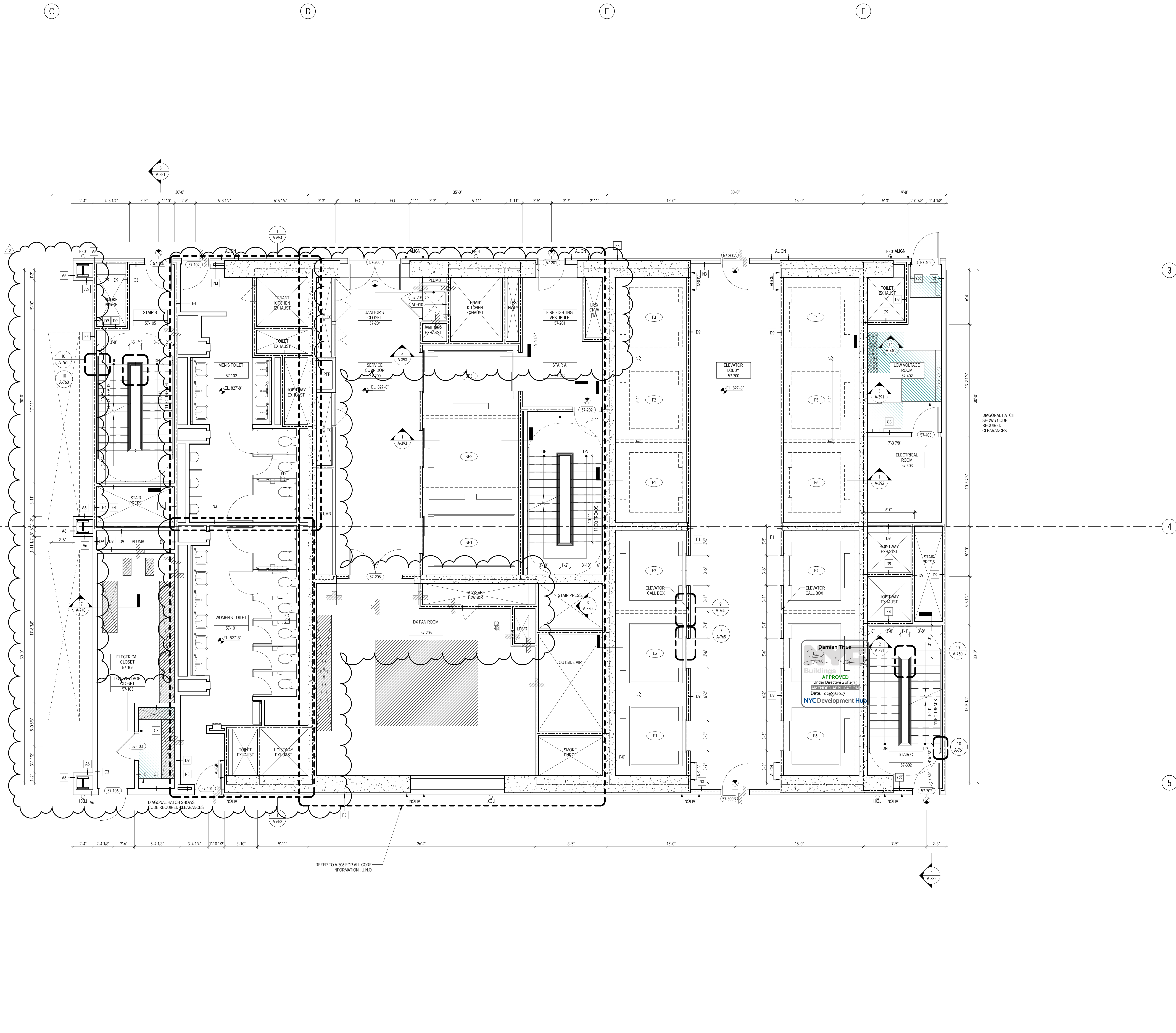












## GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS, MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION (S0700).
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE DP, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/PAGE/CETEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP/P DRAWINGS FOR ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMP AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
15. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL STAIRS AND STAIRWAYS.
16. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
17. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 710 OF THE NEW YORK CITY BUILDING CODE.
18. PROVIDE 6" WIDE BY 6" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 6" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO S00 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
19. CURBS AT MEP PENETRATIONS TO BE COORDINATED WITH MEP CONTRACTOR.
20. COORDINATE NUMBER, SIZE AND LOCATION OF ALL HOUSEKEEPING PADS AS REQUIRED TO SUPPORT AND MAINTAIN ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION EQUIPMENT.
21. REFER TO STRUCTURAL SERIES DRAWINGS FOR TYPICAL CURB DETAILS AND HOUSEKEEPING PAD DETAILS, REINFORCEMENT, AND MATERIAL TYPES.
22. PROVIDE PHOTO LUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.18 & 1006 OF THE NEW YORK CITY BUILDING CODE.
23. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
24. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKE FIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
25. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.



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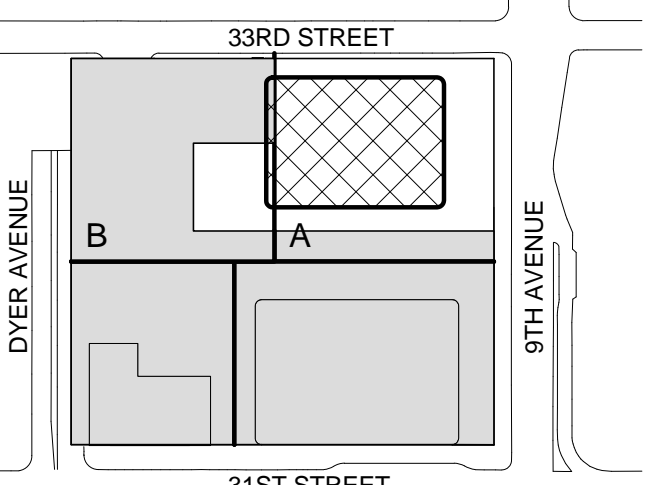
Vibration Consultant  
**Wilson, Uhrig & Associates, Inc.**  
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Wind Tunnel Consultant  
**Rowan Williams Davies & Irwin Inc.**  
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Key Plan:



Seal & Signature:

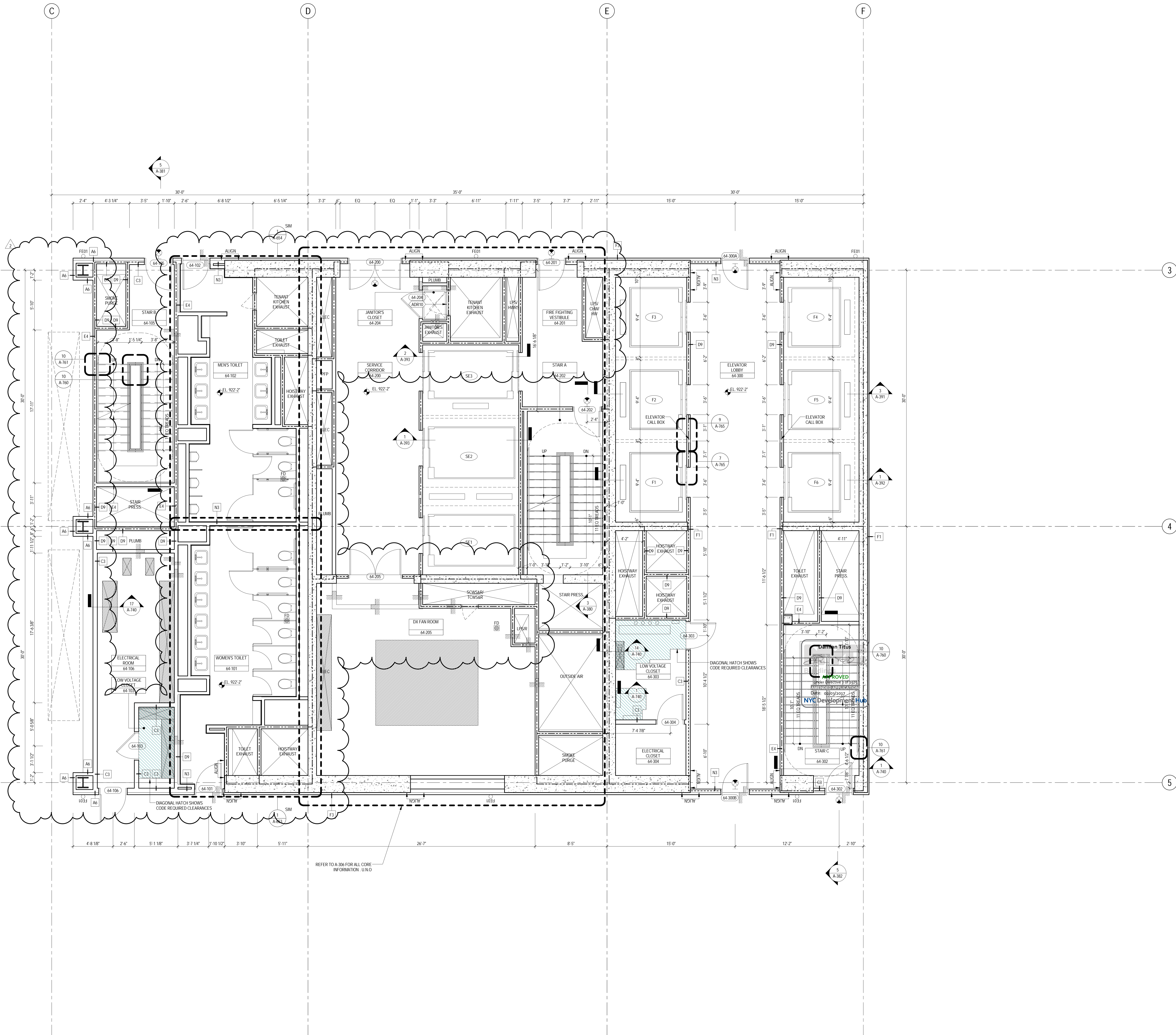


Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/4" = 1'-0"  
File No.: A-357

B-SCAN Sheet No.:  
22 APR 2016  
Sheet No.: A-357.02  
Page No.: 74 OF

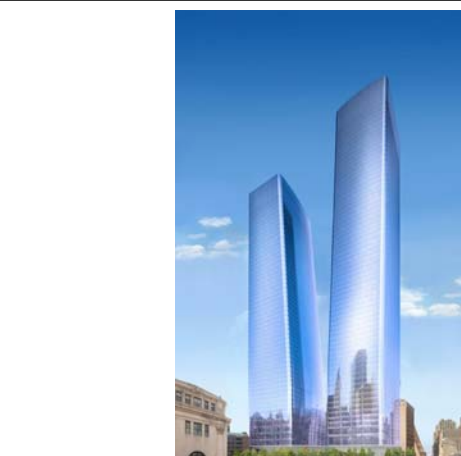
**LEVEL 57-58  
ENLARGED CORE  
PLAN - TYPICAL  
HIGH-RISE**





GENERAL NOTES

1. ALL BUILDING ELEVATIONS (IN FEET) REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
2. ALL ELEVATION MARKS REFER TO FINISH FLOOR, UNO.
3. FOR GENERAL NOTES, BUILDING DEPARTMENT NOTES, AND CLARIFICATION OF THE WORK NOTES REFER TO SHEET NO. G-005.
4. FOR ARCHITECTURAL ABBREVIATIONS, LEGEND OF SYMBOLS & MATERIALS, AND MOUNTING HEIGHTS REFER TO SHEET NO. G-006.
5. FOR ROOM FINISH SCHEDULE SEE A-700 SERIES DRAWINGS.
6. FOR DOOR SCHEDULE SEE A-700 SERIES DRAWINGS. FOR DOOR HARDWARE SPECIFICATION SEE TECHNICAL SPECIFICATION SECTION B-0700.
7. FOR PARTITION TYPES SEE A-700 SERIES DRAWINGS.
8. ALL PARTITIONS SHALL BE TYPE D9, UNO.
9. FOR REFLECTED CEILING PLANS SEE A-600 SERIES DRAWINGS. IF NOT PROVIDED SEE MEPP/FASCOTEL SERVICE DRAWINGS FOR LOCATIONS OF ALL CEILING WALL MOUNTED DEVICES.
10. FOR STRUCTURAL COLUMNS, EDGE OF SLAB, AND CORE WORK POINTS SEE STRUCTURAL SERIES DRAWINGS, UNO.
11. REFER TO STRUCTURAL SERIES DRAWINGS FOR ALL STRUCTURAL WALL DESIGNATIONS AND DIMENSIONS.
12. REFER TO MEPP/FASCOTEL SERVICE DRAWINGS FOR ELECTRICAL, LIGHTING, PLUMBING AND FIRE PROTECTION ROOM, RISER AND EQUIPMENT DESIGNATIONS.
13. FOR PROJECT WORK POINT REFER TO A-000 SERIES DRAWINGS.
14. GUARD RAILS COMPLIANT WITH SECTION BC 1012 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT OPEN SIDES OF ALL WALKING SURFACES, MEZZANINES, EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS AND LANDINGS LOCATED MORE THAN 30 INCHES ABOVE FLOORS BELOW.
15. HAND RAILS COMPLIANT WITH SECTION BC 1009.11 OF THE NEW YORK CITY BUILDING CODE SHALL BE PROVIDED AT ALL RAMPS AND STAIRWAYS.
16. PARTITIONS THAT EXCEED LIMITING HEIGHTS TO BE PROVIDED WITH INTERMEDIATE HORIZONTAL AND VERTICAL STRUCTURAL SUPPORT FRAMING AS REQUIRED.
17. PARTITIONS SURROUNDING ELEVATOR LOBBIES SHALL BE CONSTRUCTED AS SMOKE PARTITIONS COMPLIANT WITH SECTION 705 OF THE NEW YORK CITY BUILDING CODE.
18. PROVIDE 4" WIDE BY 8" TALL CURBS, UNO, FOR MASONRY WALLS. PROVIDE 4" TALL CURBS WITH WIDTH TO MATCH THE MASONRY WALL ASSEMBLY. REFER TO 500 SERIES DRAWINGS FOR CURBS AT EXTERIOR ENCLOSURE.
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22. PROVIDE PHOTOLUMINESCENT PATH MARKINGS AT ALL EXIT PATHS IN ACCORDANCE WITH SECTIONS 403.16 & 1026 OF THE NEW YORK CITY BUILDING CODE.
23. FOR FIRE RESISTANT RATING REQUIREMENTS FOR STRUCTURAL BUILDING ELEMENTS REFER TO STRUCTURAL SERIES DRAWINGS AND SHEET NO. G-005.
24. ALL OPENINGS, PENETRATIONS, JOINTS AND DOORS LOCATED WITHIN A HORIZONTAL OR VERTICAL SMOKEFIRE RATED ASSEMBLY INCLUDING WALLS, BARRIERS, PARTITIONS, ENCLOSURES, AND SHAFTS MUST COMPLY WITH ALL RATING REQUIREMENTS OF CHAPTER 7 OF THE NEW YORK CITY BUILDING CODE.
25. REFER TO ELECTRICAL SERIES DRAWINGS FOR ALL LIGHT FIXTURE DESIGNATIONS, LOCATIONS, AND DIMENSIONS.



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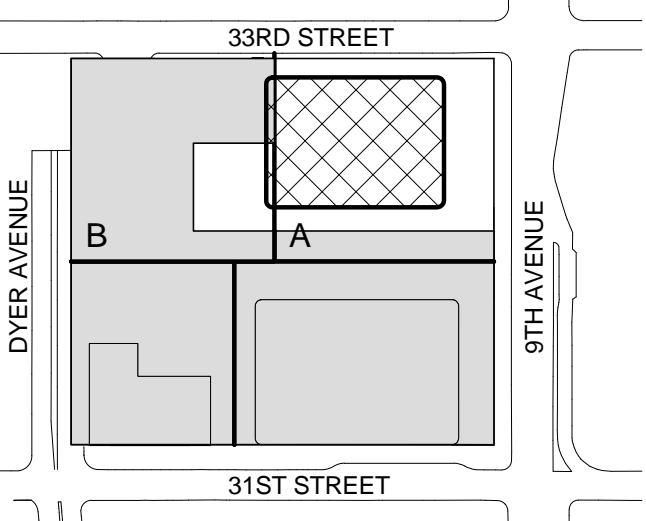
Facade Maintenance Consultant

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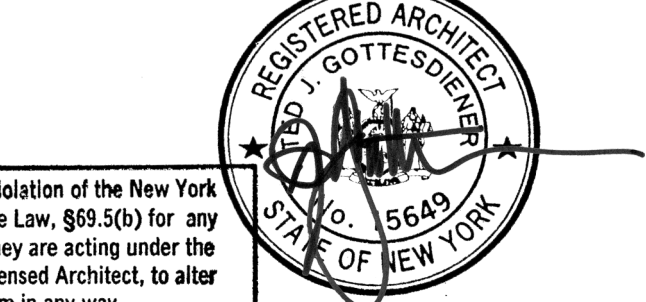
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Key Plan:



Seal & Signature:



Warning: It is a violation of the New York State Architecture Law, §16-150, for any person, unless they are acting under the direction of a Licensed Architect, to alter this plan in any way.

2 22 APR 2016 ISSUED FOR P&A  
1 07 OCT 2015 ISSUED FOR BUILDING PERMIT  
No. Date Description  
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**LEVEL 64-67  
ENLARGED CORE  
PLAN - TYPICAL  
HIGH-RISE**

Project No.: 207150  
Date: 22 APR 2016  
Scale: 1/4" = 1'-0"  
File No.: A-364  
B-SCAN Sheet No.: A-364.02  
Sheet No.: 75 OF 75